



ADDENDUM NO. 1

Corporate FBO Terminal Building and Parking Lot Rehabilitation

Located at 2178 Flightline Ave, Macon, GA 31216

Thursday, November 21, 2024

Architect of Record: Passero Associates, LLC
4730 Casa Cola Way, Suite 200
St. Augustine, FL 32095
(904) 224-7082

Christopher Nardone, AIA
cnardone@passero.com

PASSERO
architecture engineering

Passero Associates Project No. 20202946.010A

ADDENDUM NO. 1
Corporate FBO Terminal Building and Parking Lot Rehabilitation
Macon-Bibb County at Middle Georgia Regional Airport
Thursday, November 21, 2024

The following items are clarifications, corrections, or additions to the contract documents. **THIS ADDENDUM TAKES PRECEDENCE OVER THE ORIGINAL PARTS OF THE CONTRACT DOCUMENTS.**

All the parts of the contract documents, not specifically modified by this or other addenda, remain in full force and effect.

Bidders shall thoroughly familiarize themselves with the contents of this Addendum before submitting bid proposals. **IT SHALL BE THE BIDDER'S RESPONSIBILITY TO INFORM THE SUBCONTRACTORS, SUPPLIERS, MANUFACTURERS AND OTHER PARTIES PARTICIPATING IN THE WORK OF APPLICABLE REQUIREMENTS IN THIS ADDENDUM.**

Bidders shall acknowledge receipt of this addendum, identified by number and date, on the Addenda Receipt form included in the Proposal Section of the Contract Documents and submitted as part of their Proposal. Failure to acknowledge receipt of Addendum may be grounds for rejection of the bid proposal.

Items amended to the Contract Documents are as follows:

BIDDERS QUESTIONS AND ANSWERS

To be addressed in the following addendum, to be expected on Monday, November 25, 2024.

OTHER ITEMS

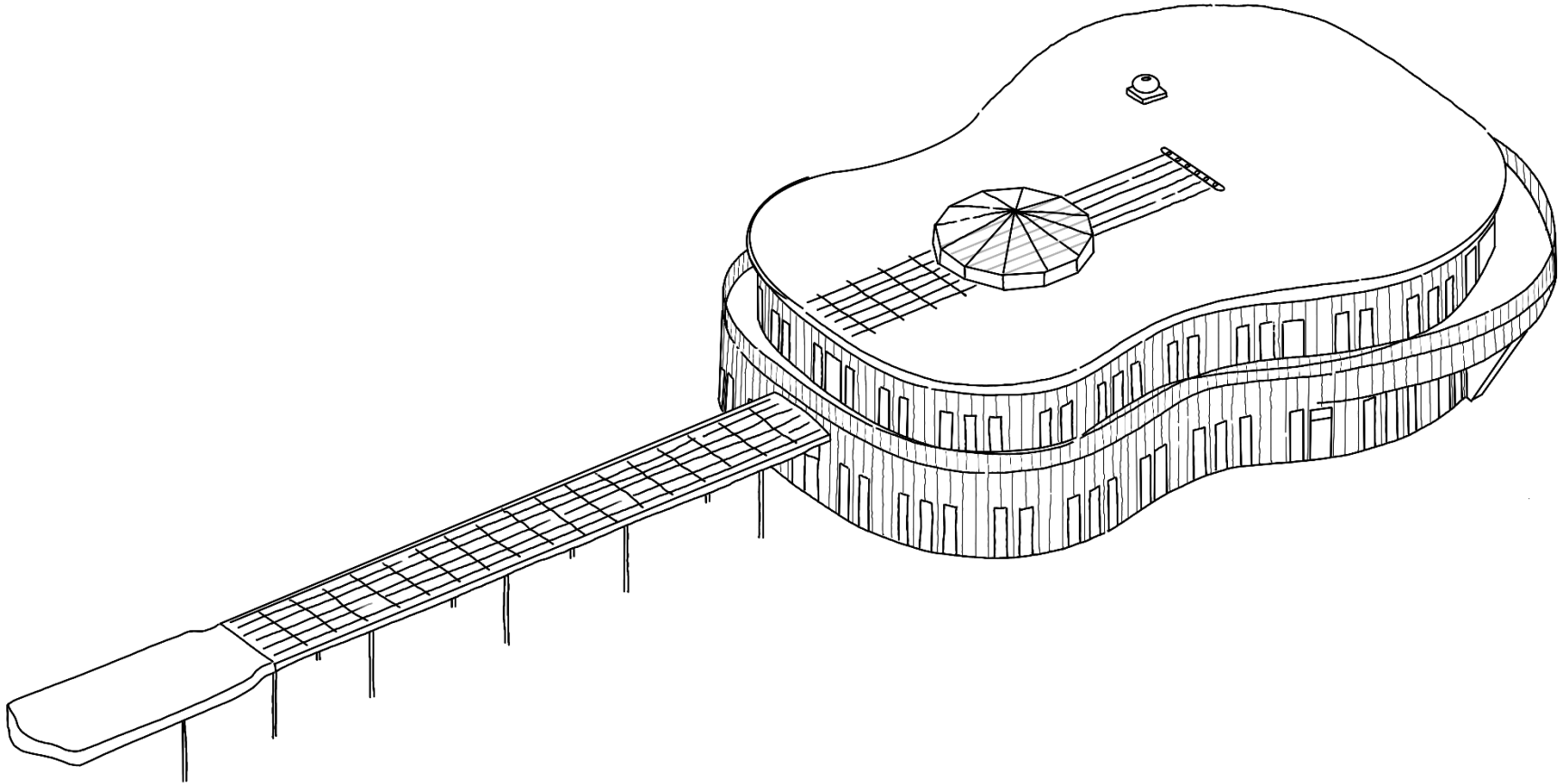
1. Questions must be directed to Christopher Nardone (cnardone@passero.com); and must be received no later than Tuesday, November 26, 2024, at 5:00pm in order to receive a response.
2. Bid Documents must be obtained via Macon-Bibb County's website at www.maconbibb.us/procurement, at Georgia's Department Of Administrative Services at <https://doas.ga.gov/state-purchasing/georgia-procurement-registry-local-governments/gpr-overview> and www.passero.com/bids. It is the bidders responsibility to check the website for addenda prior to submitting their bid.

ATTACHMENTS

1. Non-mandatory pre-bid PowerPoint presentation.
2. Non-mandatory pre-bid attendance list.

END OF ADDENDUM NO. 1

CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION



PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

**NON-MANDATORY
PRE-BID MEETING
NOVEMBER 12, 2024
1:00 P.M.**

AGENDA

- INTRODUCTIONS & PROJECT LOCATION
- PROJECT COMPONENTS & DESCRIPTIONS
- CONTRACT TIME
- PROJECT SCHEDULE
- MISCELLANEOUS CONTRACT REQUIREMENTS
- QUESTIONS, CLARIFICATIONS & INTERPRETATIONS
- QUESTIONS & COMMENTS AT THIS TIME
- SITE VISIT

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

INTRODUCTIONS

OWNER: MIDDLE GEORGIA REGIONAL AIRPORT

Doug Faour, Aviation Director
Heather Lowe, Airport Manager
Louis Storms, FBO Manager

ENGINEERING AND ARCHITECTURAL CONSULTANT: PASSERO ASSOCIATES

Stan Price, Project Manager
Christopher Nardone, AIA, Senior Project Architect
Katie Kmiecik, Architectural Designer II

PASSERO
architecture engineering



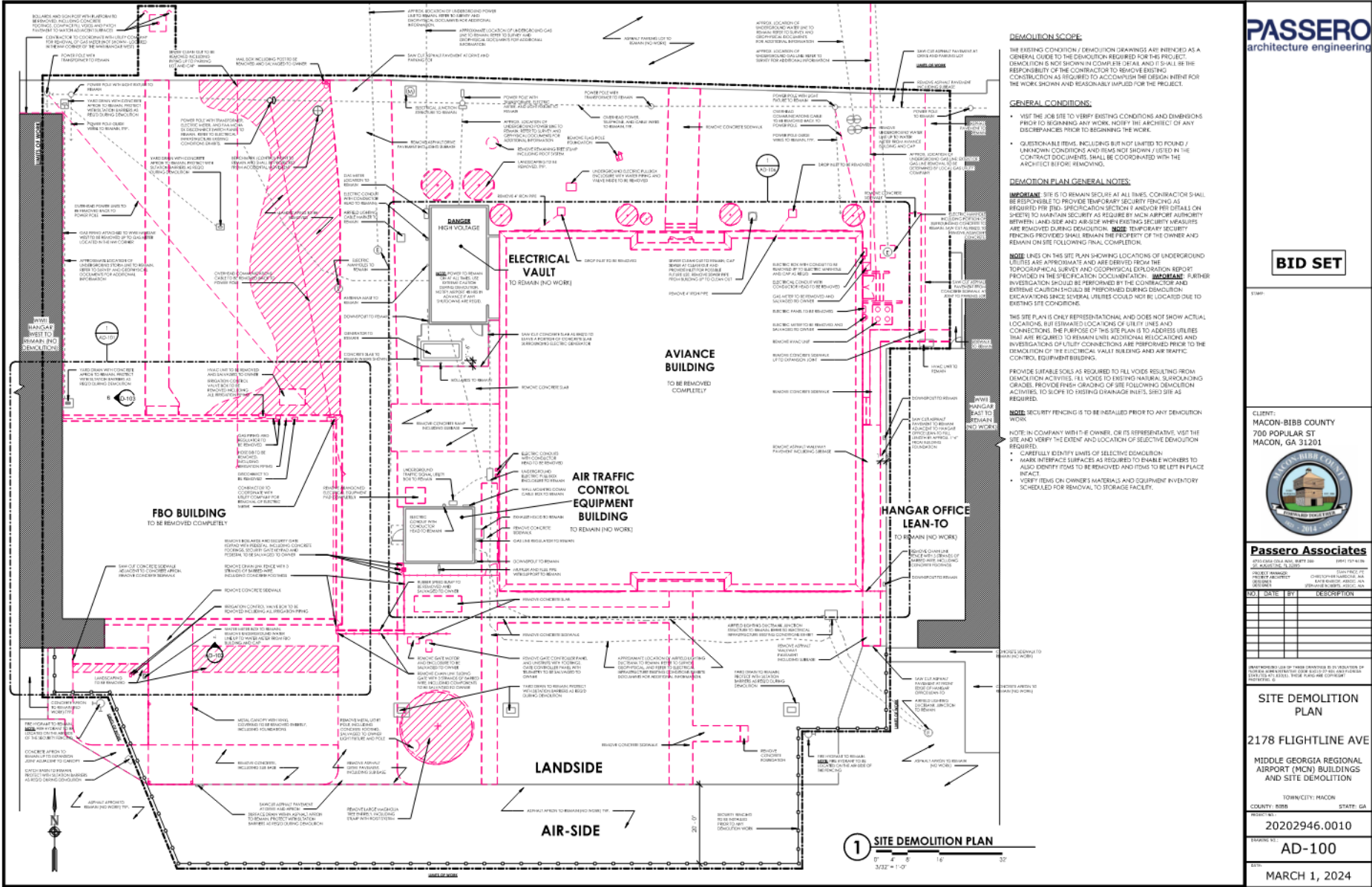
 **HIGHNOTE**
AVIATION

PROJECT LOCATION



2178 FLIGHTLINE AVE, MACON, GEORGIA 31297

EXISTING CONDITIONS



DEMOLITION SCOPE:
THE EXISTING CONDITIONS DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT. CONDITIONS NOT SHOWN IN CONTRACT SETS AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE EXISTING CONDITIONS AS REQUIRED TO ACCOMPLISH THE DESIGN INTENT FOR THE WORK SHOWN AND REASONABLY ANTICIPATED FOR THE PROJECT.

GENERAL CONDITIONS:

- VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING THE WORK.
- QUESTIONABLE ITEMS, INCLUDING BUT NOT LIMITED TO FOUND / UNKNOWN CONDITIONS AND ITEMS NOT SHOWN / LISTED IN THE CONTRACT DOCUMENTS, SHALL BE COORDINATED WITH THE ARCHITECT BEFORE REMOVING.

DEMOLITION PLAN GENERAL NOTES:
IMPORTANT: SITE IS TO REMAIN SECURE AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY SECURITY FENCING AS REQUIRED PER (IND) SPECIFICATION SECTION 1 AND/OR PER DETAILS ON SHEETS TO MAINTAIN SECURITY AS REQUIRED BY LOCAL AGENCY AUTHORITY BETWEEN LANDSIDE AND AIRSIDE WITH EXISTING SECURITY MEASURES ARE REMOVED DURING DEMOLITION. **NOTE:** TEMPORARY SECURITY FENCING PROVIDED SHALL REMAIN THE PROPERTY OF THE OWNER AND REMAIN ON SITE FOLLOWING FINAL COMPLETION.

NOTE: LINES ON THIS SITE PLAN SHOWING LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE DERIVED FROM THE TOPOGRAPHICAL SURVEY AND GEOGRAPHICAL EXPLORATION REPORT PROVIDED IN THE SPECIFICATION DOCUMENTATION. **IMPORTANT:** SUB-SURFACE INVESTIGATION SHOULD BE PERFORMED BY THE CONTRACTOR AND EXTENSIVE CAUTION SHOULD BE EXERCISED DURING DEMOLITION EXCAVATIONS SINCE SEVERAL UTILITIES COULD NOT BE LOCATED DUE TO EXISTING SITE CONDITIONS.

THE SITE PLAN IS ONLY REPRESENTATIONAL AND DOES NOT SHOW ACTUAL LOCATIONS, BUT ESTABLISHES APPROXIMATE LOCATIONS OF UTILITY LINES AND CONNECTIONS. THE PURPOSE OF THIS SITE PLAN IS TO ADDRESS UTILITIES THAT ARE REQUIRED TO REMAIN UNTIL ADDITIONAL RELOCATIONS AND INVESTIGATIONS OF UTILITY CONNECTIONS ARE PERFORMED PRIOR TO THE DEMOLITION OF THE ELECTRICAL VAULT BUILDING AND AIR TRAFFIC CONTROL EQUIPMENT BUILDINGS.

PROVIDE SUITABLE SOLES AS REQUIRED TO FILL VOIDS RESULTING FROM DEMOLITION ACTIVITIES. FILL VOIDS TO EXISTING NATURAL SURROUNDING GRADES. PROVIDE FRESH GRASSING OF SITE FOLLOWING DEMOLITION ACTIVITIES, TO SCOPE TO EXISTING DRAINAGE INLETS. SEE SITE AS REQUIRED.

NOTE: SECURITY FENCING IS TO BE INSTALLED PRIOR TO ANY DEMOLITION FROM:
 • IN COMPANY WITH THE OWNER, OR ITS REPRESENTATIVE, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
 • CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 • MARK INTERFERENCE SURFACES AS REQUIRED TO ENABLE WORKERS TO ALSO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE IN PLACE.
 • VERIFY ITEMS ON OWNER'S MATERIALS AND EQUIPMENT INVENTORY SCHEDULED FOR REMOVAL TO STORAGE FACILITY.

PASSERO
architecture engineering

BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPULAR ST
MACON, GA 31201



Passero Associates

REGISTERED PROFESSIONAL ENGINEER
STATE OF GEORGIA
LICENSE NO. 11517
REGISTERED PROFESSIONAL ARCHITECT
STATE OF GEORGIA
LICENSE NO. 11517

NO.	DATE	BY	DESCRIPTION

SITE DEMOLITION PLAN

2178 FLIGHTLINE AVE
MIDDLE GEORGIA REGIONAL AIRPORT (MCR) BUILDINGS AND SITE DEMOLITION

TOWN/CITY: MACON STATE: GA

PROJECT NO: 20202946.0010

ISSUE NO: AD-100

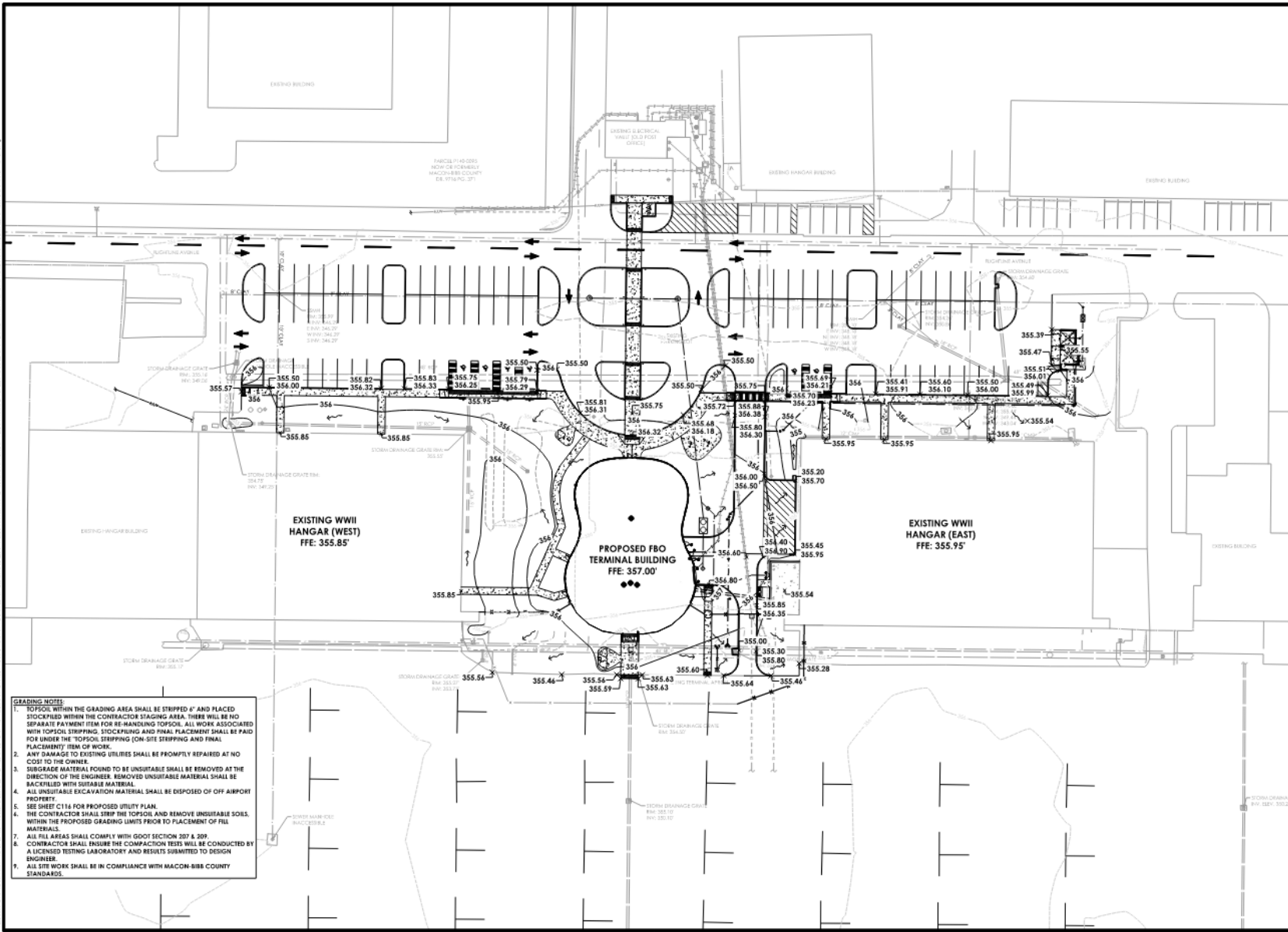
DATE: MARCH 1, 2024

DEMOLITION

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

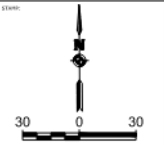
PROJECT COMPONENTS – BID PACKAGE OVERVIEW

PASSERO
architecture engineering



- GRADING NOTES:**
1. TOPSOIL WITHIN THE GRADING AREA SHALL BE STRIPPED 4" AND PLACED STOCKPILED WITHIN THE CONTRACTOR STAGING AREA. THERE WILL BE NO SEPARATE PAYMENT ITEM FOR RE-HANDLING TOPSOIL. ALL WORK ASSOCIATED WITH TOPSOIL STRIPPING, STOCKPILING AND FINAL PLACEMENT SHALL BE PAID FOR UNDER THE "TOPSOIL STRIPPING (ON-SITE STRIPPING AND FINAL PLACEMENT)" ITEM OF WORK.
 2. ANY DAMAGE TO EXISTING UTILITIES SHALL BE PROMPTLY REPAIRED AT NO COST TO THE OWNER.
 3. UNSUITABLE MATERIAL FOUND TO BE UNSUITABLE SHALL BE REMOVED AT THE DIRECTION OF THE ENGINEER. REMOVED UNSUITABLE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
 4. ALL UNSUITABLE EXCAVATION MATERIAL SHALL BE DISPOSED OFF AIRPORT PROPERTY.
 5. SEE SHEET C114 FOR PROPOSED UTILITY PLAN.
 6. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE UNSUITABLE SOILS WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIALS.
 7. ALL FILL AREAS SHALL COMPLY WITH GOOD SECTION 207 & 209.
 8. CONTRACTOR SHALL ENSURE THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.
 9. ALL SITE WORK SHALL BE IN COMPLIANCE WITH MACON-BIBB COUNTY STANDARDS.

BID SET - DO NOT USE FOR CONSTRUCTION



CLIENT:
MACON-BIBB COUNTY
601 MULBERRY ST
MACON, GA 31201



Passero Associates
1000 MULBERRY ST, SUITE 200
MACON, GA 31201
TEL: 478-871-1111
WWW.PASSEROASSOCIATES.COM

PROJECT NO: 20202946.010A
DATE: 10/20/2024
BY: J. W. WILSON

NO.	DATE	BY	DESCRIPTION

ANY INFORMATION OR REVISIONS OR MODIFICATIONS TO THIS DRAWING IS TO BE INDICATED BY A REVISION TABLE AND APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER.

GRADING PLAN
2178 FLIGHTLINE AVE
NEW CORPORATE (FBO)
TERMINAL BUILDING AND
PARKING LOT REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO: 20202946.010A

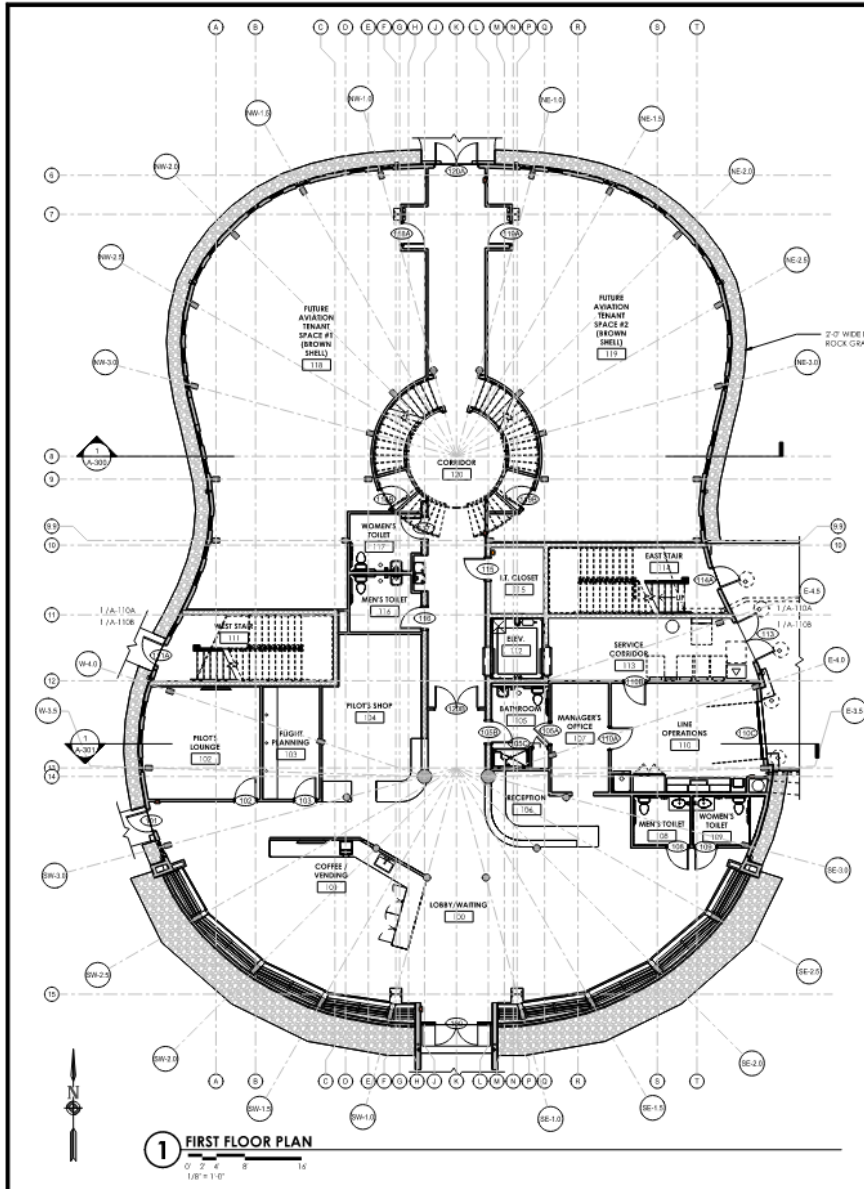
DRAWING NO: C115

DATE: OCTOBER 2024

SITE PLAN

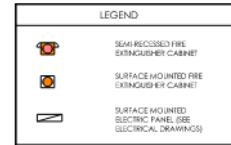
NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



FLOOR PLAN GENERAL NOTES:

- REFER TO SCHEDULE G-005 FOR WALL TYPES.
- DIMENSION STILES
- WOOD STUD WALLS ARE DIMENSIONED TO CENTERLINE OF STUD.
- MASONRY WALLS ARE DIMENSIONED TO FACE OF MASONRY.
- ALL EXTERIOR WALL ASSEMBLIES TO BE WALL TYPE 11, PER SCHEDULE G-005, UNLESS NOTED OTHERWISE.



BID SET

STATE:

CLIENT:
 MACON-BIBB COUNTY
 700 POPLAR ST.
 MACON, GA 31201



Passero Associates

4575 GLEN COLE AVE., SUITE 200 (800) 751-1485
 200 W. WASHINGTON ST., SUITE 100 (478) 872-1100
 MACON, GA 31201

NO.	DATE	BY	DESCRIPTION

FIRST FLOOR PLAN

2178 FLIGHTLINE AVE
 CORPORATE FBO TERMINAL
 BUILDING AND PARKING LOT
 REHABILITATION

TOWN/CITY: MACON

COUNTY: BIBB STATE: GEORGIA

PROJECT NO: 20202946.010A

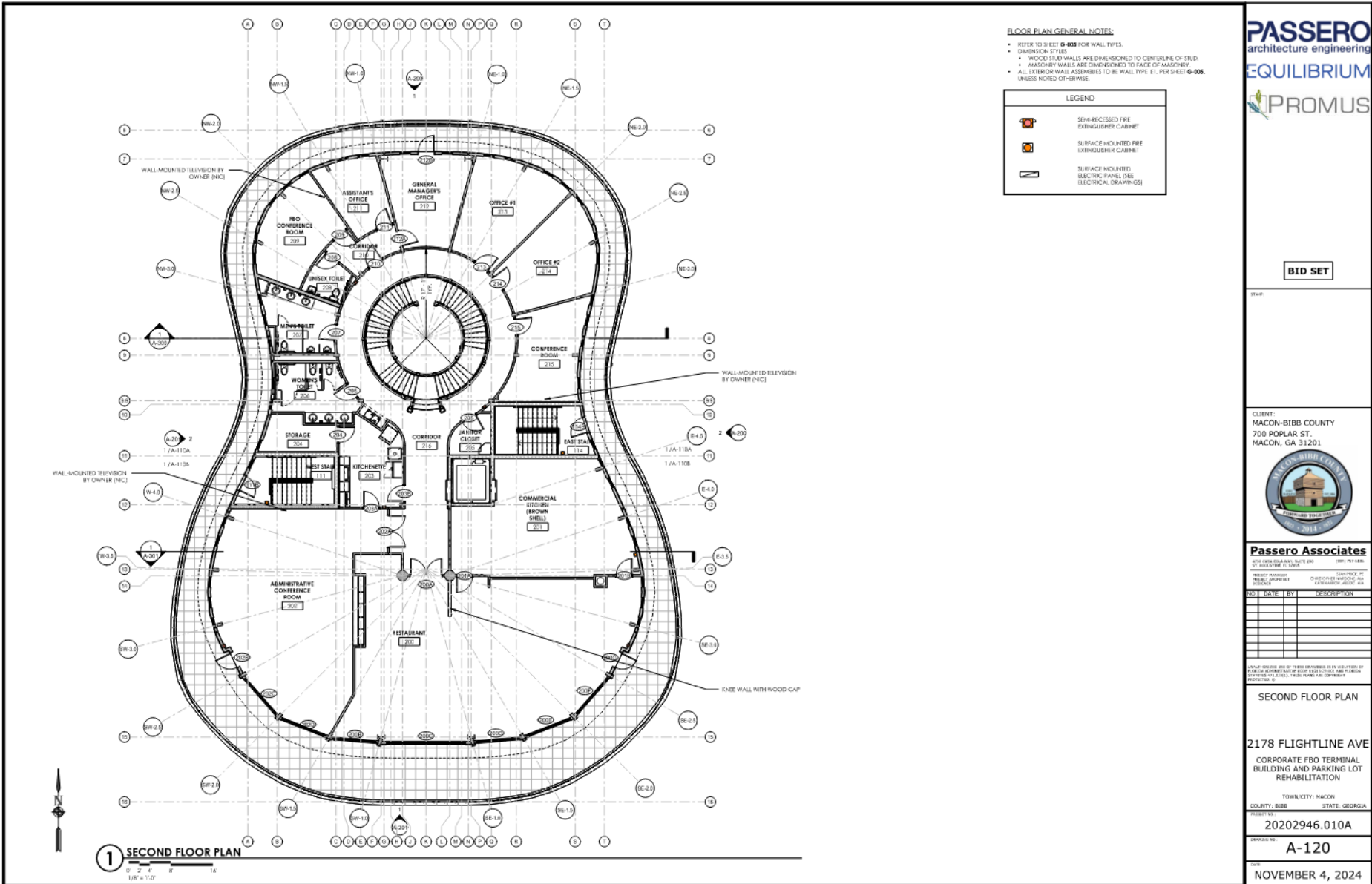
ISSUED BY: A-110

DATE: NOVEMBER 4, 2024

FIRST FLOOR PLAN

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

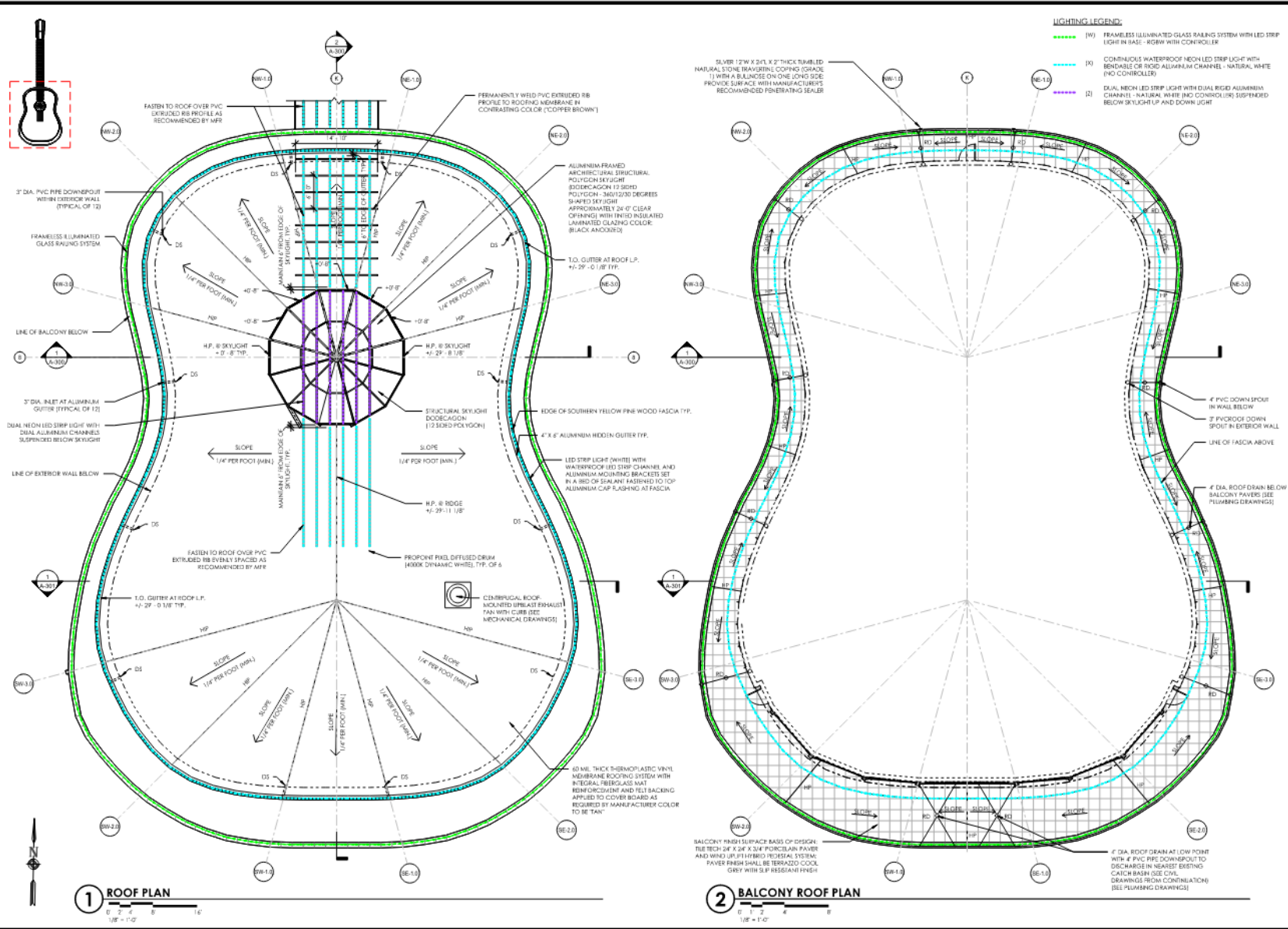
PROJECT COMPONENTS – BID PACKAGE OVERVIEW



SECOND FLOOR PLAN

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



BID SET

CLIENT:
MACON-BIBB COUNTY
 700 POPLAR ST.
 MACON, GA 31201



Passero Associates

4575 LISA DR., SUITE 200
 MACON, GA 31210
 PH: 478.876.5555
 FAX: 478.876.5556
 WWW.PASSEROASSOCIATES.COM

NO.	DATE	BY	DESCRIPTION

ROOF PLAN AND BALCONY ROOF PLAN

2178 FLIGHTLINE AVE
 CORPORATE FBO TERMINAL
 BUILDING AND PARKING LOT
 REHABILITATION

TOWN/CITY: MACON
 COUNTY: BIBB STATE: GEORGIA

PROJECT NO:
20202946.010A

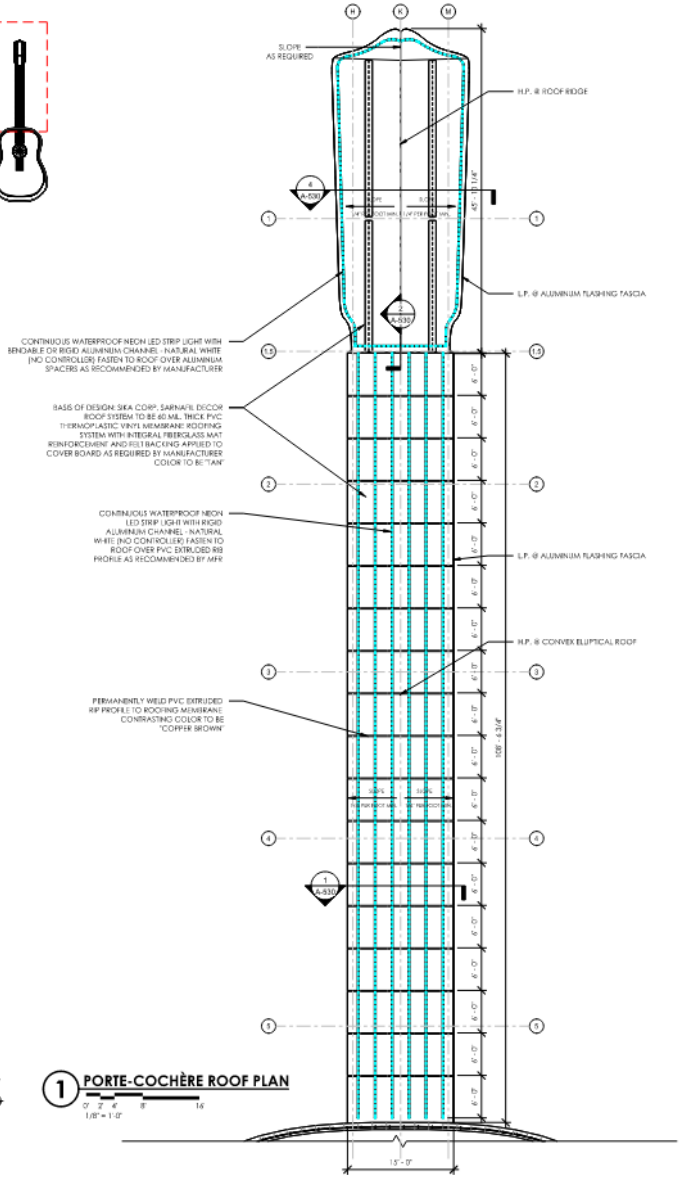
REVISED NO:
A-150

DATE:
NOVEMBER 4, 2024

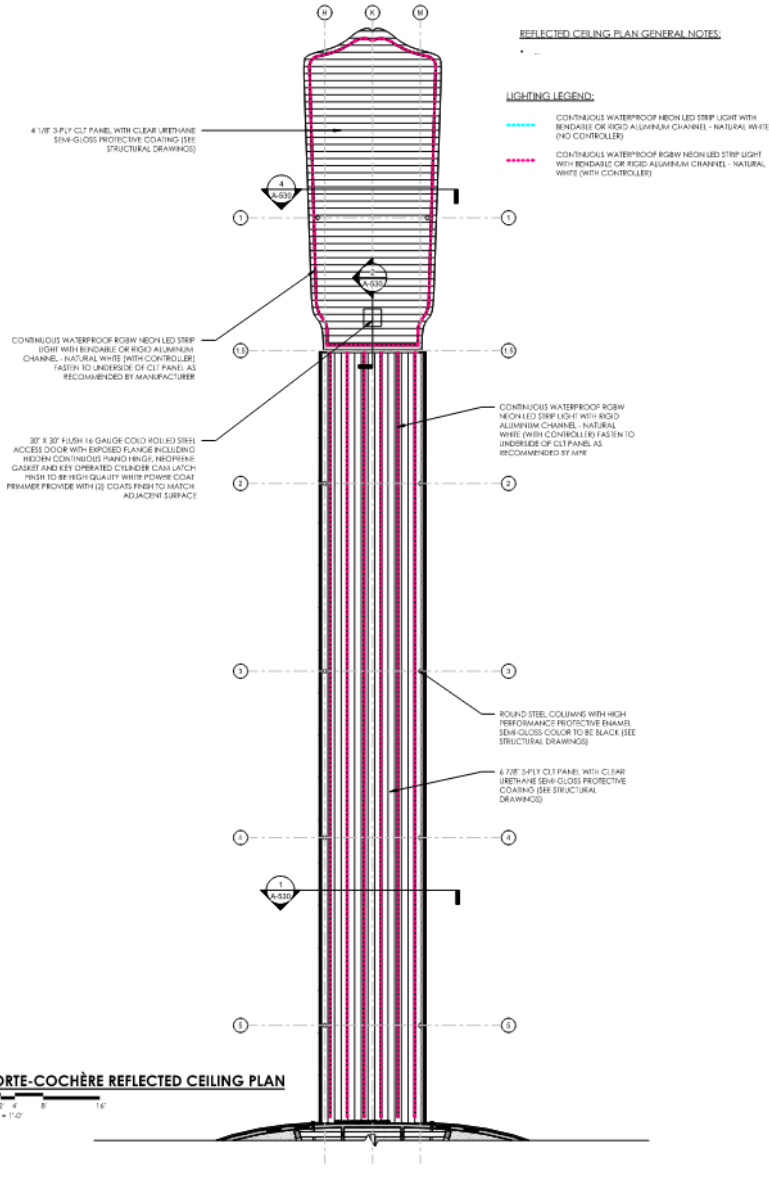
ROOF & BALCONY PLANS

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



1 PORTE-COCHÈRE ROOF PLAN



2 PORTE-COCHÈRE REFLECTED CEILING PLAN



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

4511 GREENGLADE AVENUE, SUITE 200 | MACON, GA 31206
 PROJECT MANAGER: JASON HAYES | PROJECT ARCHITECT: JASON HAYES
 PROJECT ENGINEER: JASON HAYES | PROJECT ENGINEER: JASON HAYES

NO.	DATE	BY	DESCRIPTION

PORTE-COCHÈRE ROOF/REFLECTED CEILING PLAN
 2178 FLIGHTLINE AVE
 CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION

TOWN/CITY: MACON
 COUNTY: BIBB STATE: GEORGIA

20202946.010A

A-160

NOVEMBER 4, 2024

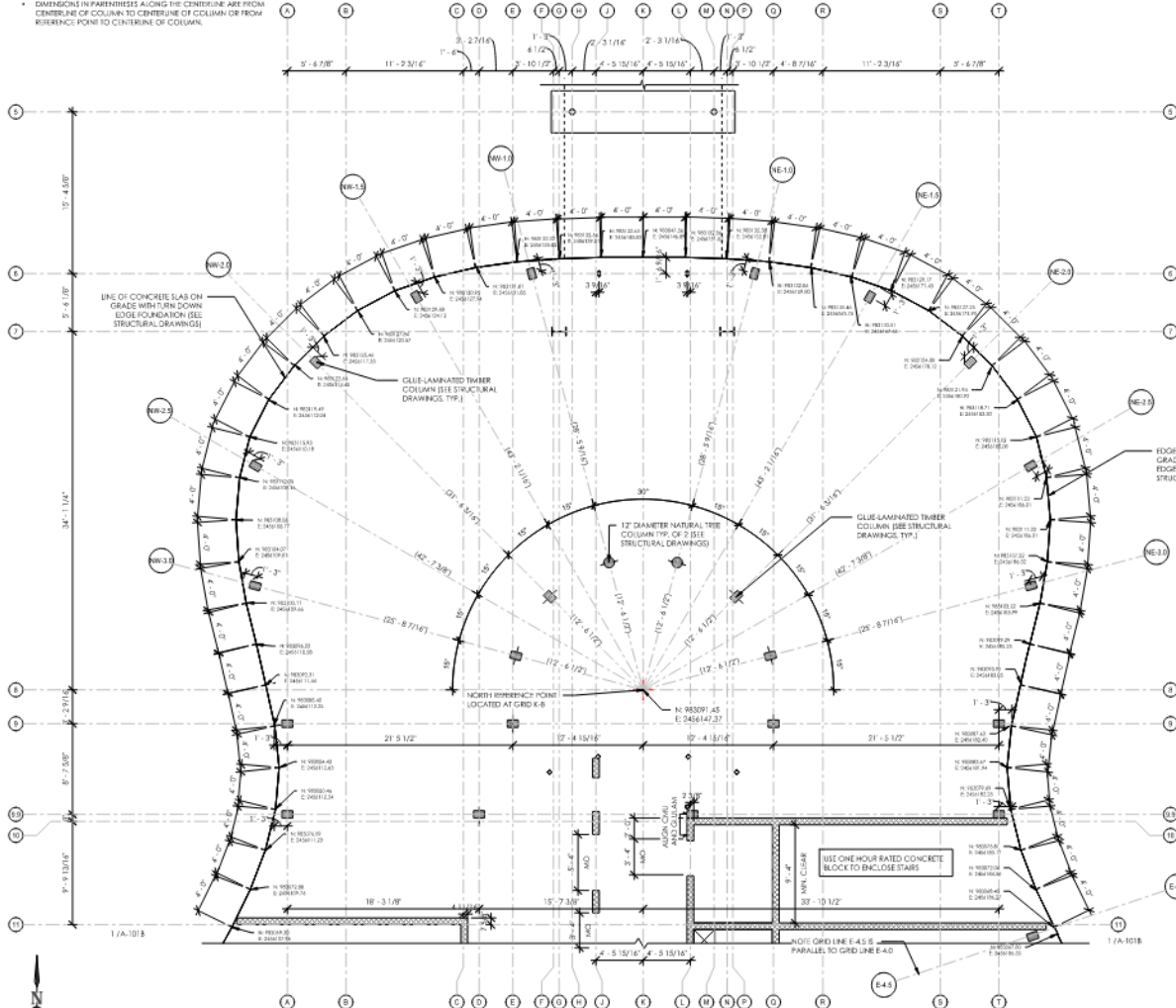
PORTE-COCHERE PLAN

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

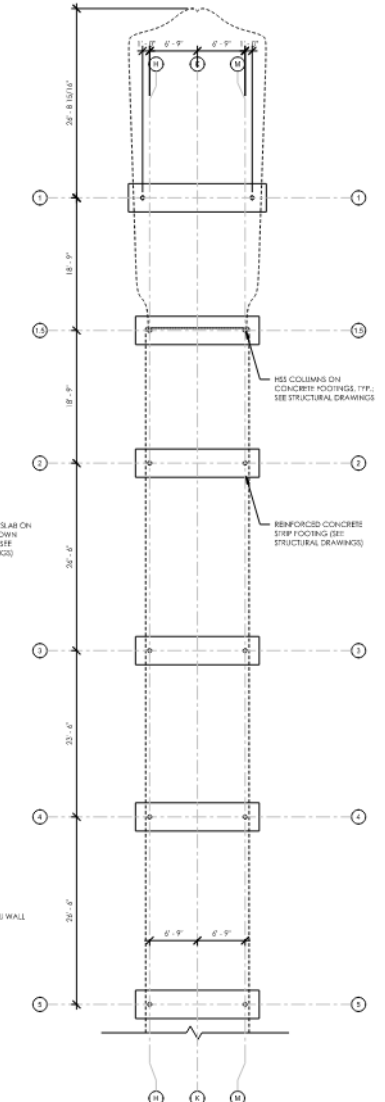
PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND ANGLES AT 15° OR 30° ARE TO BE MEASURED FROM REFERENCE POINTS AS SPECIFIED TYP.
- DIMENSIONS IN PARENTHESES ALONG THE CENTERLINE ARE FROM CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



1 FIRST FLOOR ENLARGED GRID PLAN - NORTH



2 FIRST FLOOR PORTE-COCHÈRE GRID PLAN



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

ARCHITECT
1000 W. BROAD ST., SUITE 200
MACON, GA 31201
TEL: 478-871-1111
FAX: 478-871-1112

NO.	DATE	BY	DESCRIPTION

FIRST FLOOR ENLARGED GRID PLAN - NORTH

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

20202946.010A

A-101A

NOVEMBER 4, 2024

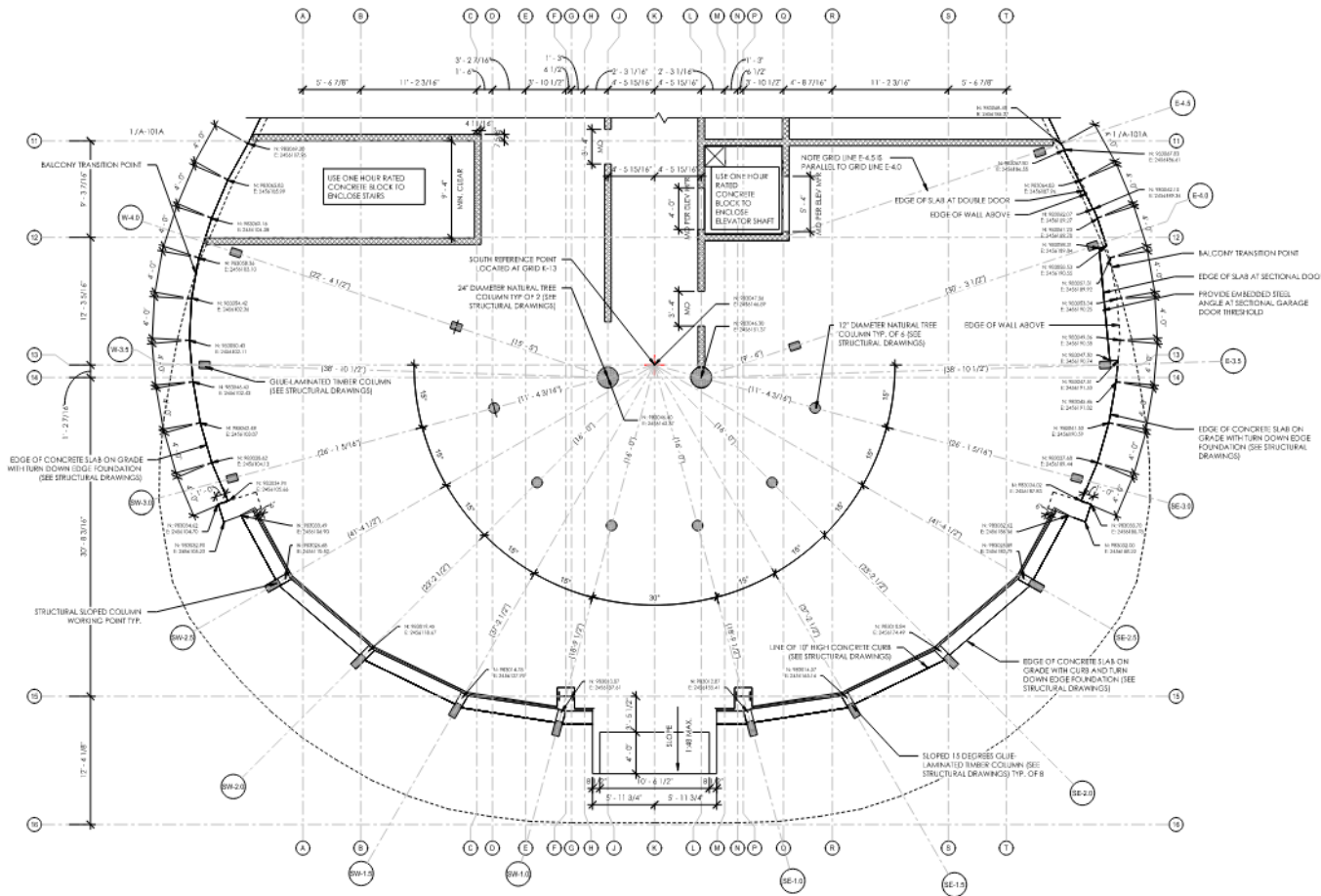
FIRST FLOOR GRID PLAN - NORTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND RADIAL ANGLES AT 1" OF SP ARE TO BE MEASURED FROM REFERENCE POINTS AS DEPICTED. TYP.
- DIMENSIONS IN PARENTHESES INDICATE THE CENTERLINE OF COLUMN OR FROM CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



1 FIRST FLOOR ENLARGED GRID PLAN - SOUTH



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

1000 W. BROAD ST., SUITE 100
MACON, GA 31201
TEL: 478.872.1234
FAX: 478.872.1235

NO.	DATE	BY	DESCRIPTION

FIRST FLOOR ENLARGED GRID PLAN - SOUTH

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO:
20202946.010A

ISSUE NO:
A-101B

DATE:
NOVEMBER 4, 2024

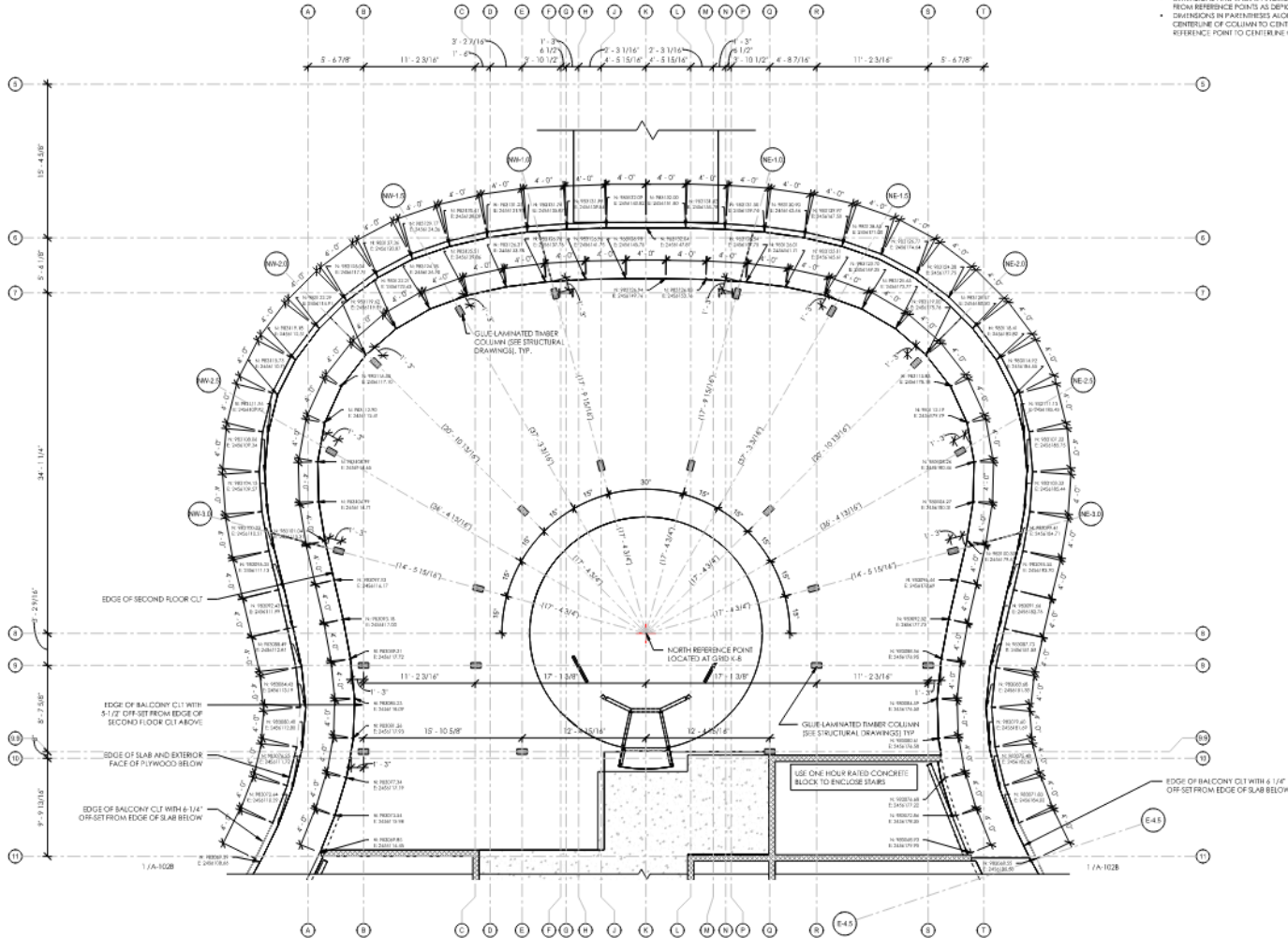
FIRST FLOOR GRID PLAN - SOUTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND RADIAL ANGLES AT 1° OR 30° ARE TO BE MEASURED FROM REFERENCE POINTS AS DEPICTED TYP.
- DIMENSIONS IN PARENTHESES INDICATE THE CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



1 SECOND FLOOR ENLARGED GRID PLAN - NORTH



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates
REGISTERED PROFESSIONAL ARCHITECTS
117 WOODSIDE BLVD. SUITE 100
MACON, GA 31204

PROJECT NUMBER: 20202946.010A
DATE: 11/04/24

NO.	DATE	BY	DESCRIPTION

SECOND FLOOR ENLARGED GRID PLAN - NORTH

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO.: 20202946.010A

DRAWING NO.: A-102A

DATE: NOVEMBER 4, 2024

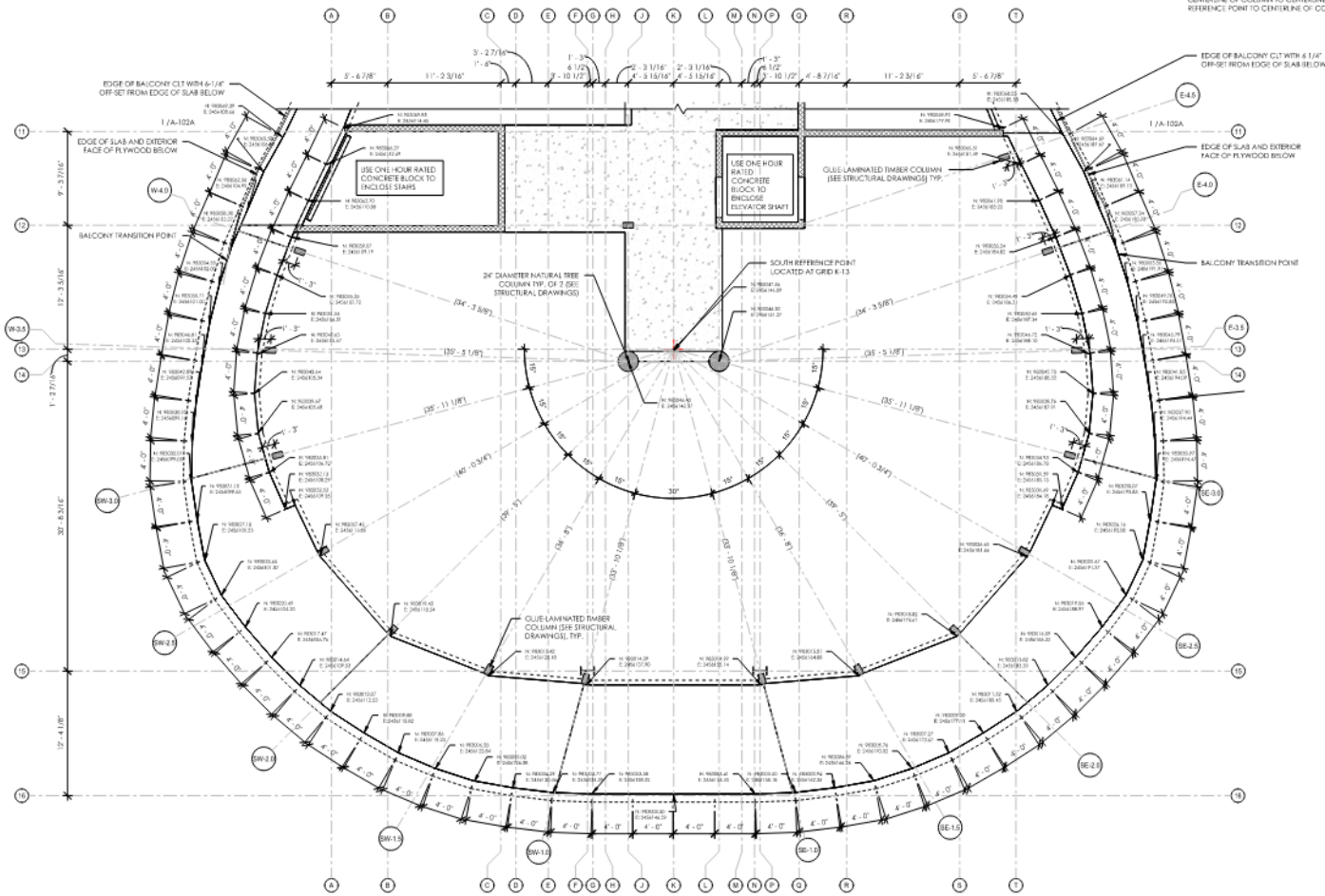
SECOND FLOOR GRID PLAN - NORTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND RADIAL ANGLES AT 1" OR 30" ARE TO BE MEASURED FROM REFERENCE POINTS AS SPECIFIED TYP.
- DIMENSIONS IN PARENTHESES ALONG THE CENTRINE ARE FROM CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



1 SECOND FLOOR ENLARGED GRID PLAN - SOUTH

0' 3/16" = 1'-0"



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

4575 GARDENWAY, SUITE 200 28911 PINE LAKE
DUBLIN, GEORGIA 31009 TEL: 770-412-1100
PROJECT MANAGER: CHECKED BY: DATE PLOTTED: 11/14/2024
DESIGNER: CHECKED BY: DATE PLOTTED: 11/14/2024

NO.	DATE	BY	DESCRIPTION

SECOND FLOOR ENLARGED GRID PLAN - SOUTH

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO.: 20202946.010A

DRAWING NO.: A-102B

DATE: NOVEMBER 4, 2024

SECOND FLOOR GRID PLAN - SOUTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

PASSERO
architecture engineering
EQUILIBRIUM
PROMUS

BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

1378 COLUMBIA AVE, SUITE 200
MACON, GA 31201, U.S.A. (800) 767-4888

PROJECT MANAGER: QUINCY W. WOODS
DESIGNER: JAMES R. WOODS
DATE: 10/24/2024

NO.	DATE	BY	DESCRIPTION

ALL WORK AND MATERIALS TO BE INSTALLED OR SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. CONSULT THE PROJECT MANUAL FOR THE LATEST REVISIONS TO THE BIDDING DOCUMENTS.

BALCONY DETAILS

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

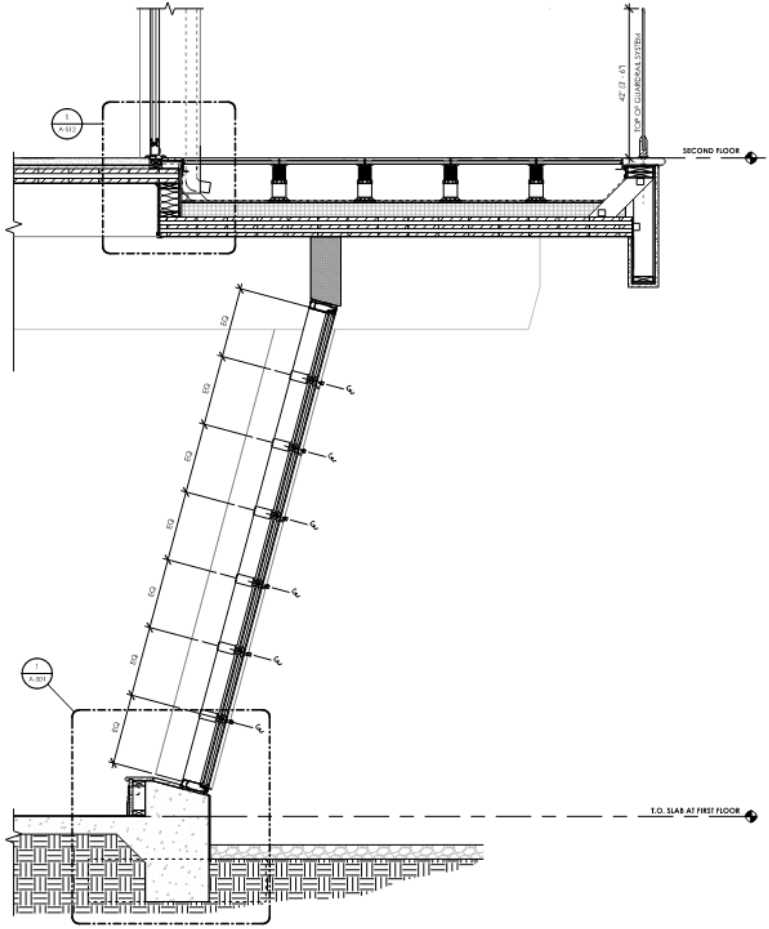
TOWN/CITY: MACON

COUNTY: BIBB STATE: GEORGIA

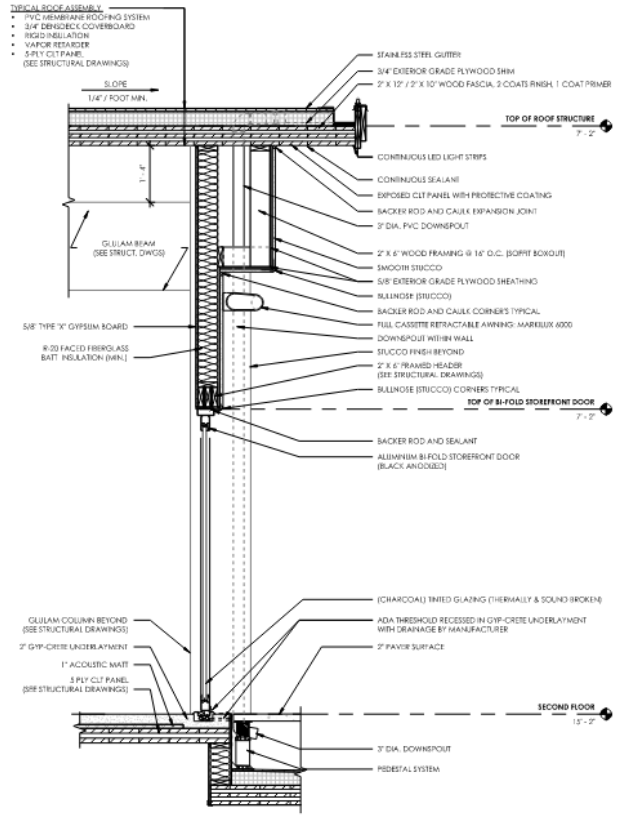
PROJECT NO: 20202946.010A

DRAWING NO: **A-511**

DATE: **NOVEMBER 4, 2024**



1 TYP. BALCONY DETAIL @ FBO WAITING AREA



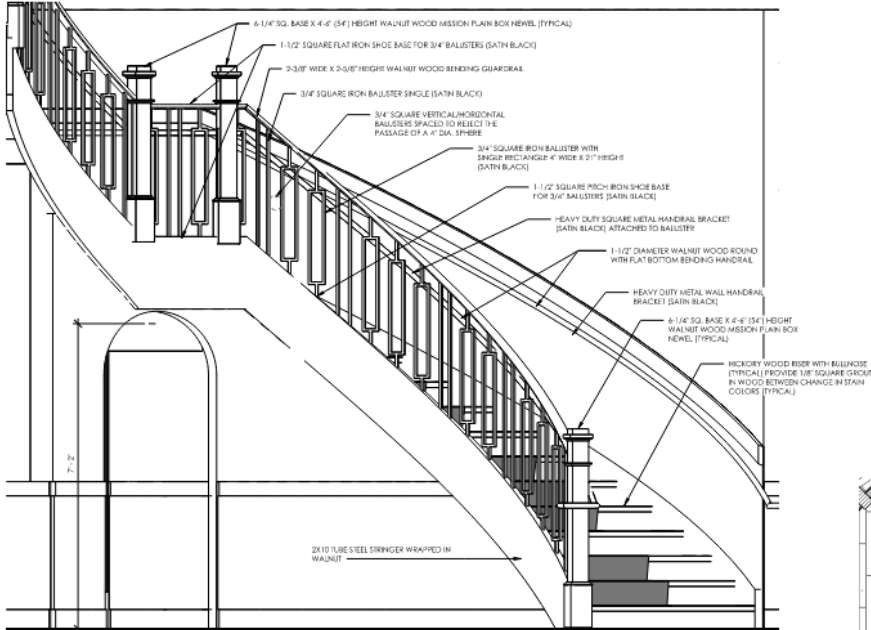
2 SECTION THROUGH BI-FOLD STOREFRONT



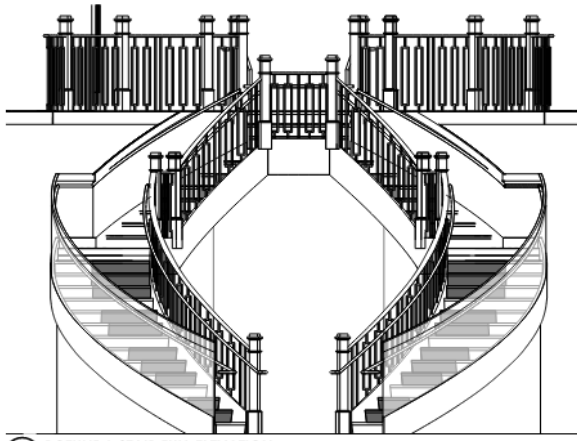
15-DEGREE CURTAIN WALL

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

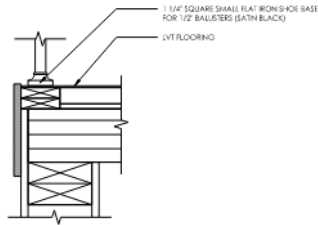
PROJECT COMPONENTS – BID PACKAGE OVERVIEW



1 ROTUNDA STAIR HALF ELEVATION
3/8" = 1'-0"

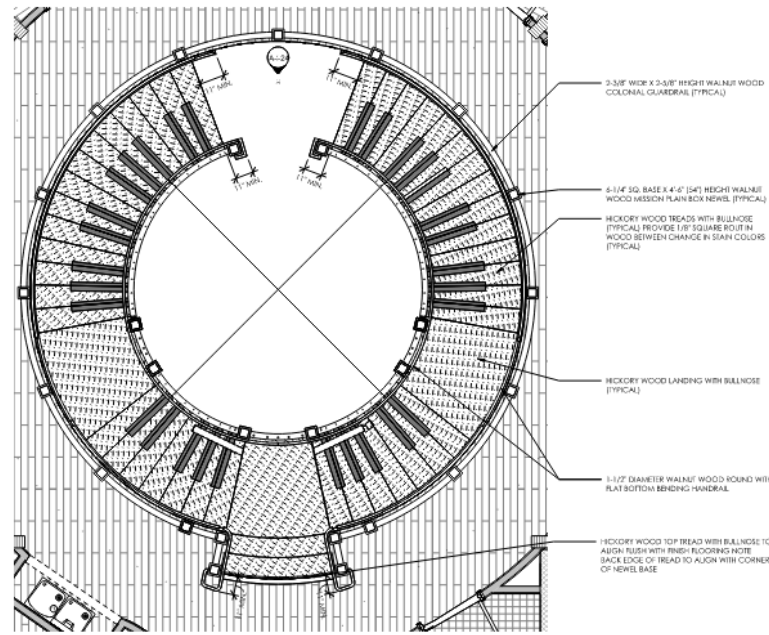


3 ROTUNDA STAIR FULL ELEVATION
3/8" = 1'-0"



4 TYP. ROTUNDA STAIR DETAIL
1/2" = 1'-0"

- STAIR GENERAL NOTES:**
- THE TREAD AND LANDING SLOPE SHALL NOT EXCEED 1/4 IN./FT PER NFA 101 7.2.2.3.4.
 - VARIATION IN EXCESS OF 3/16 IN. IN THE SIZES OF ADJACENT TREAD DIPPING OR IN THE THICK OF ADJACENT RISERS SHALL BE PROHIBITED, UNLESS OTHERWISE PERMITTED IN 7.2.2.3.4.3, PER NFA 101 7.2.2.3.4.1.
 - THE VARIATION BETWEEN THE SETS OF THE LARGEST AND SMALL RISES OR BETWEEN THE LARGEST AND SMALLEST TREAD DIPPING SHALL NOT EXCEED 3/8 IN. IN ANY DIRECTION PER NFA 101 7.2.2.3.4.2.
 - BASE OF DESIGN FOR MONUMENTAL STAIR COMPONENTS: WWW.STAIRWAREHOUSE.COM
 - HICKORY WOOD TREADS AND RISERS TO BE STAINED COLORS TO MATCH LVT COLOR BY FACTOR PROVIDED WITH CLEAR OIL BASED POLYURETHANE VARNISH NON-SLIP COATING (TYPICAL)



2 ROTUNDA STAIR PLAN
3/8" = 1'-0"



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

4711 LISA GLEN AVE, SUITE 200 (889) 751-1485
25 W. WASHINGTON ST. SUITE 200 (889) 751-1485
PROJECT MANAGER: MICHAEL W. HENRY CHAIRMAN/MANAGER: GUY G. PEELE, P.E.
DESIGNER: JAMES W. HENRY ARCHITECT: KYLE W. HENRY ARCHITECT: WJA

NO.	DATE	BY	DESCRIPTION

ROTUNDA MONUMENTAL STAIR ENLARGED PLANS AND ELEVATIONS

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA
PROJECT NO.:

20202946.010A

A-324

DATE: NOVEMBER 4, 2024

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



ROTUNDA MONUMENTAL STAIR RENDERING

NOT ALL COMPONENTS RELATED
TO BIDPACKAGE ARE SHOWN

UTILITY OUTAGES AND SHUTDOWN

- MUST STAY SECURED AT ALL TIMES AND BEWARE OF FOD DUE TO PROXIMITY TO AIRFIELD
- DO NOT DISRUPT OR SHUT DOWN LIFE SAFETY SYSTEMS, INCLUDING BUT NOT LIMITED TO POWER, DATA, WATER, SEWER AND FIRE ALARM SYSTEM, WITHOUT NOTICE TO OWNER AND AUTHORITIES HAVING JURISDICTION
- LIMIT SHUTDOWN OF UTILITIES TO 4 HOURS AT A TIME, ARRANGED AT LEAST 48 HOURS IN ADVANCE WITH THE OWNER

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

PROJECT SCHEDULE

Invitation to Bid Advertisement Plans Available	<u>Non-Mandatory Pre-Bid Meeting</u>	Addendum No. 1 Issued	Deadline for Submission of Questions	Final Addendum Issued	Deadline for Submission of Bids
Monday, November 4, 2024	Tuesday, November 12, 2024 (1:00 pm)	Tuesday, November 19, 2024	Tuesday, November 26, 2024 (5:00 pm)	Thursday, December 5, 2024	Thursday, December 12, 2024 (12:00 pm)

ADDENDA

- ALL ADDENDA WILL BE POSTED TO MACON-BIBB COUNTY'S WEBSITE AT www.maconbibb.us/procurement, AT GEORGIA'S DEPARTMENT OF ADMINISTRATIVE SERVICES AT <https://doas.ga.gov/state-purchasing/georgia-procurement-registry-local-governments/gpr-overview> AND AT www.passero.com/bids IT IS THE BIDDERS RESPONSIBILITY TO CHECK THE CITY'S WEBSITE FOR ADDENDA PRIOR TO SUBMITTING THEIR BID.

BID PROPOSALS

- ALL BIDDERS ARE REQUIRED TO COMPLETE & RETURN A COPY OF THE BID SECTION OF THE CONTRACT DOCUMENTS TO MACON-BIBB COUNTY PROCUREMENT DEPARTMENT LOCATED AT **700 POPLAR STREET, 3RD FLOOR, SUITE 308, MACON, GA 31201, UNTIL 12PM ON THURSDAY, DECEMBER 12, 2024** THEN PUBLICLY OPENED AND READ ALOUD AT 2PM ON DECEMBER 12, 2024.

CONTRACT AWARD

- THE OWNER INTENDS TO AWARD THE CONTRACT TO THE LOWEST BIDDER, BUT RESERVES THE RIGHT TO AWARD IN ANY MANNER DEEMED IN HIS SOLE DISCRETION TO BE IN THE OWNER'S BEST INTEREST
- THE OWNER RESERVES THE RIGHT TO WITHHOLD THE AWARD OF THE CONTRACT FOR A PERIOD NOT TO EXCEED **90 CALENDAR DAYS** FROM BID OPENING.

CONTRACT TIME

- 420 CALENDAR DAYS** FROM NOTICE TO PROCEED WITH LIQUID DAMAGES OF **\$1,000 PER CALENDAR DAY** FOR EACH CALENDAR DAY IN EXCESS OF THE CONTRACT TIME.

PROJECT SCHEDULE

- CONTRACTOR SHALL BEGIN NO LATER THAN TEN CALENDAR DAYS FROM ISSUANCE OF NOTICE TO PROCEED; ALL WORK MUST BE COMPLETED **WITHIN 420 CALENDAR DAYS OF NOTICE TO PROCEED.**
- THE ORIGINAL BID SUBMITTAL [**1 ORIGINAL, 1 HARD COPY, AND 1 ELECTRONIC COPY (USB)**] MUST BE DELIVERED TO MACON-BIBB COUNTY PROCUREMENT DEPARTMENT GOVERNMENT CENTER AT

MACON-BIBB COUNTY PROCUREMENT DEPARTMENT GOVERNMENT CENTER
700 POPLAR STREET, 3RD FLOOR, SUITE 308
MACON, GEORGIA 31201

IN A SEALED PACKAGE. INDICATE THE FOLLOWING INFORMATION ON THE OUTSIDE OF THE SEALED ENVELOPE CONTAINING THE BID:

- PROJECT NAME AS STATED ON PAGE ONE OF THE BID FORMS
 - PROJECT NUMBER
 - LOCATION OF AIRPORT
 - BIDDER'S NAME AND ADDRESS
- IF THE BID IS SENT THROUGH THE MAIL OR OTHER DELIVERY SYSTEM, THE SEALED ENVELOPE SHALL BE ENCLOSED IN A SEPARATE ENVELOPE WITH THE NOTATION "BID ENCLOSED FOR (PROJECT NAME)" ON THE FACE THEREOF.

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

The logo features a blue circular emblem on the left containing a white stylized 'H' and a white swoosh that suggests a wing or a path. To the right of the emblem, the word "HIGHNOTE" is written in a large, bold, blue, sans-serif font, and the word "AVIATION" is written below it in a smaller, blue, sans-serif font.

MISCELLANEOUS CONTRACT REQUIREMENTS

CONTRACTOR PROJECT SCHEDULING & PROGRESS MEETINGS: THE CONTRACTOR SHALL SUBMIT A CRITICAL PATH METHOD (CPM) SCHEDULE FOR ALL WORK ACTIVITIES, PRIOR TO COMMENCING WORK, AND PROVIDE UPDATES A MINIMUM OF TWICE PER MONTH. ON SITE WEEKLY PROGRESS MEETINGS SHALL BE REQUIRED FOR THE DURATION OF THE PROJECT; THE FREQUENCY MAY BE REDUCED IF APPROVED BY THE ENGINEER/ARCHITECT.

BIDDER QUALIFICATIONS (REQUIREMENT)

- ALL EXHIBITS, SHALL BE INCLUDED WITH THE BIDDER'S PROPOSAL FOR THIS PROJECT.
- BIDDERS MUST SUBMIT WITH THE BID SUBMITTAL EVIDENCE OF CAPABILITIES TO COMPLETE THE CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION. THIS WILL INCLUDE A REFERENCE LIST OF SIMILAR PROJECTS (SCOPE & SIZE) SUCCESSFULLY COMPLETED IN THE PAST, A REFERENCE LIST, AND EQUIPMENT LIST, A LIST OF SUBCONTRACTORS, AND OTHER INFORMATION REQUESTED BY MACON-BIBB COUNTY. FAILURE TO SUBMIT QUALIFICATION INFORMATION WITH THE BID SUBMITTAL MAY RESULT IN REJECTION OF A BID.

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

The logo features a blue circular emblem on the left containing a white stylized 'H' and a white swoosh that suggests a wing or a path. To the right of the emblem, the word 'HIGHNOTE' is written in a bold, blue, sans-serif font, with 'AVIATION' in a smaller, blue, sans-serif font below it.

MISCELLANEOUS CONTRACT REQUIREMENTS

BUILDING PERMITTING & IMPACT/CONCURRENCY FEES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL REQUIRED BUILDING & CONSTRUCTION PERMITTING APPLICATIONS WITH THE CITY.
- THE CONTRACTOR, WILL BE FINANCIALLY RESPONSIBLE FOR THE COST OF ALL REQUIRED PERMITS AND IMPACT/CONCURRENCY FEES WITH THE CITY.
- CONTRACTOR MUST OBTAIN A TRAILER FOR A FIELD OFFICE IF REQUIRED.

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

QUESTIONS, CLARIFICATIONS & INTERPRETATIONS

A BIDDER REQUIRING A CLARIFICATION OR INTERPRETATION OF THE PROJECT DOCUMENTS SHALL MAKE A WRITTEN REQUEST TO THE PROJECT MANAGER BY EMAIL AT THE FOLLOWING APPLICABLE ADDRESS:

EMAIL ADDRESS: CNARDONE@PASSERO.COM

PHONE INQUIRIES CAN BE DIRECTED TO CHRISTOPHER NARDONE AT
904-624-4211

DEADLINE FOR SUBMISSION OF QUESTIONS IS **TUESDAY, NOVEMBER 26, 2024, AT 5:00 PM**

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

QUESTIONS, CLARIFICATIONS & INTERPRETATIONS

ALL WRITTEN REQUESTS RECEIVED BY THE ABOVE LISTED DATE SHALL BE RESPONDED TO, & THE REPOSE SHALL BECOME PART OF THE CONTRACT DOCUMENTS.

PLEASE NOTE THAT ANY VERBAL RESPONSE TO QUESTIONS BY THE ARCHITECT/ENGINEER IS CONSIDERED UNOFFICIAL AND WILL NOT BECOME PART OF THE CONTRACT DOCUMENTS; THEREFORE, PLEASE SUBMIT ALL CONTRACT QUESTIONS IN WRITING REGARDLESS OF ANY VERBAL COMMUNICATION.

WRITTEN QUESTIONS/COMMENTS RECEIVED DURING THIS MEETING SHALL BE RECORDED AND OFFICIAL RESPONSES SHALL BE INCLUDED IN ADDENDUM NO. 1.

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

QUESTIONS, CLARIFICATIONS & INTERPRETATIONS

DURING THE BIDDERS' REVIEW OF THE CONTRACT DOCUMENTS, ANY PROBLEMS RELATED TO THE FOLLOWING QUESTIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

- **DID YOU DISCOVER ANY DISCREPANCIES BETWEEN THE PLANS & SPECIFICATIONS?**
- **ARE ALL ITEMS OF WORK AND REQUIRED TASKS TO COMPLETE THE JOB DESCRIBED ADEQUATELY IN THE CONTRACT DOCUMENTS?**
- **ARE THERE ANY ITEM(S) REQUIRED TO COMPLETE THE JOB THAT WAS NOT IDENTIFIED IN THE BID FORMS?**

PLEASE SUBMIT ANY SUCH ITEMS IN WRITING AS PREVIOUSLY DESCRIBED.

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

CONTRACTOR QUESTIONS

QUESTIONS TO BE GIVEN TO CHRISTOPHER NARDONE FOLLOWING THE MEETING.
ALL QUESTIONS WILL BE ANSWERED IN AN ADENDUM.



QUESTIONS & COMMENTS



SITE VISIT IMMEDIATELY FOLLOWING QUESTIONS/COMMENTS

PASSERO
architecture engineering



 **HIGHNOTE**
AVIATION

Name	Company	Phone	Email
Pavy mims	Sheridan Construction	478-365-5007	DMims@sheridanconstruction.com
Stedman Anglin	ICB	678-975-1238	Stedman@ICB Kenna@icbconstructiongroup.com
KENNA SCRABO	ICB CONSTRUCTION GROUP	478-812-8451	Stedman@ICB Constructiongroup.com

Michael McMillian McWright LLC 478 636 0497
 michael@mcwrightconstruction.com

Cody Funder SAC-Flint cody@saaservicescorp.com
 478-256-0282

Matt Gord SAC-Flint MattGFlint building.com
 (478) 731-8560

Dru Preston Georgia Forestry Commission
 Wood Utilization & Marketing Department
 478-283-5117 dpreston@gtc.state.ga.us

Jonathan Mitchell D.F. Osborne Const. Inc
 (785) 260-4198 anelson@osbornecm.com
 representing Aaron Nelson

Thomas Greenlee
 Greenlee Mechanical Systems, Inc
 404 234-3417 thomasgreenlee@msa.com