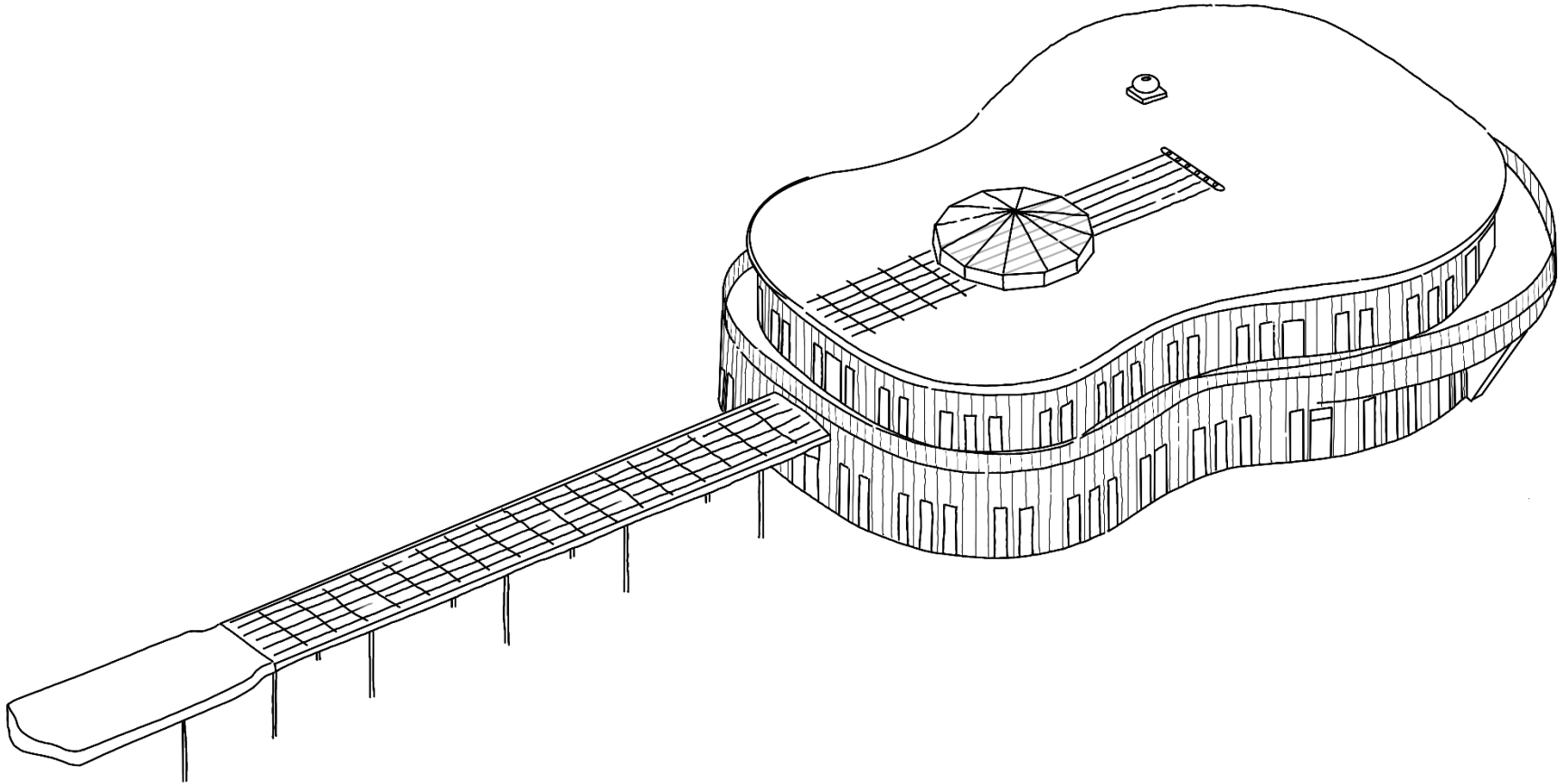


CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION



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 **HIGHNOTE**
AVIATION

**NON-MANDATORY
PRE-BID MEETING
NOVEMBER 12, 2024
1:00 P.M.**

AGENDA

- INTRODUCTIONS & PROJECT LOCATION
- PROJECT COMPONENTS & DESCRIPTIONS
- CONTRACT TIME
- PROJECT SCHEDULE
- MISCELLANEOUS CONTRACT REQUIREMENTS
- QUESTIONS, CLARIFICATIONS & INTERPRETATIONS
- QUESTIONS & COMMENTS AT THIS TIME
- SITE VISIT

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 **HIGHNOTE**
AVIATION

INTRODUCTIONS

OWNER: MIDDLE GEORGIA REGIONAL AIRPORT

Doug Faour, Aviation Director
Heather Lowe, Airport Manager
Louis Storms, FBO Manager

ENGINEERING AND ARCHITECTURAL CONSULTANT: PASSERO ASSOCIATES

Stan Price, Project Manager
Christopher Nardone, AIA, Senior Project Architect
Katie Kmiecik, Architectural Designer II

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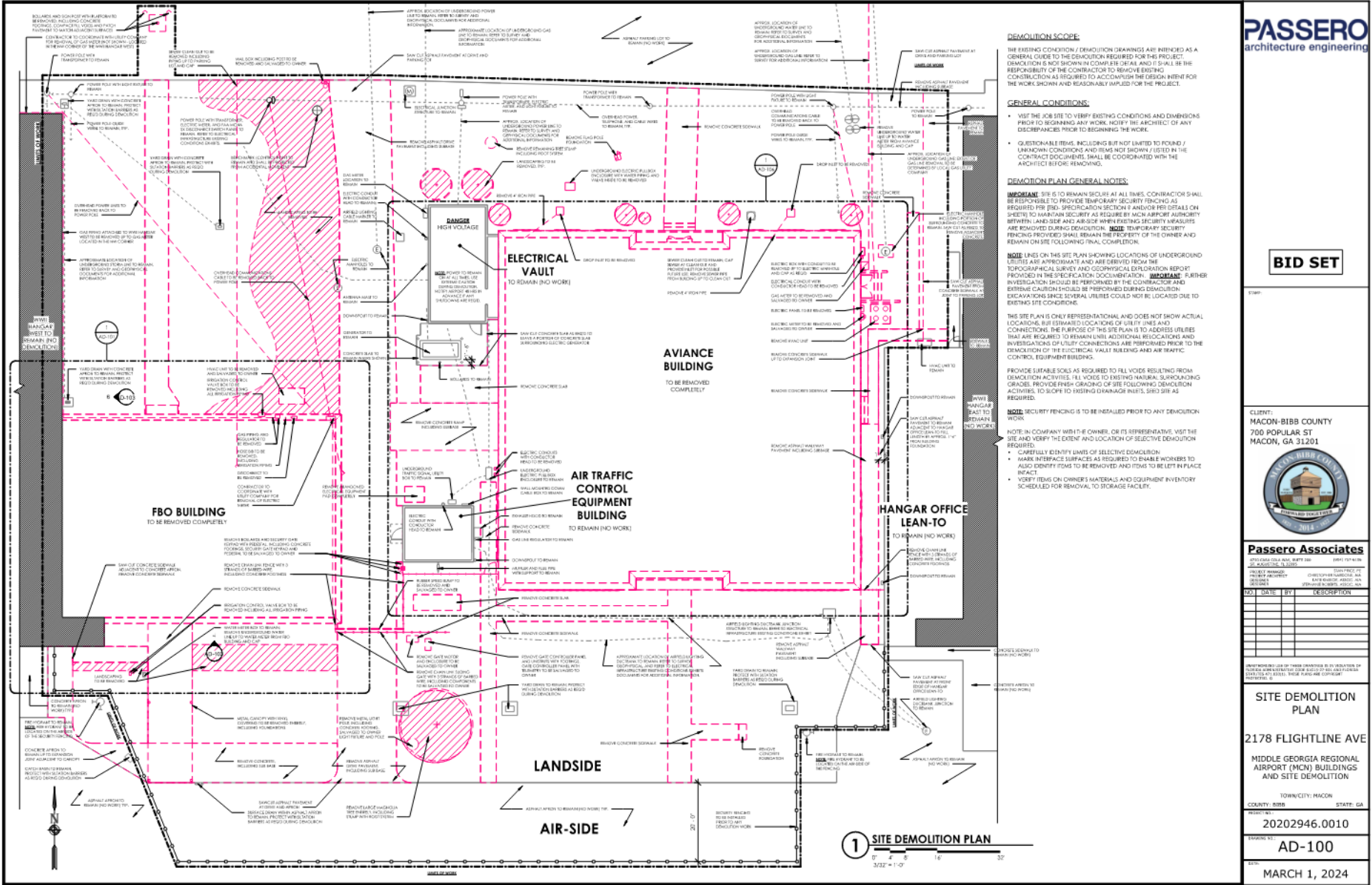
 **HIGHNOTE**
AVIATION

PROJECT LOCATION



2178 FLIGHTLINE AVE, MACON, GEORGIA 31297

EXISTING CONDITIONS



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DEMOLITION SCOPE:
THE EXISTING CONDITIONS DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT. CONDITIONS NOT SHOWN IN COMPASS ARE NOT TO BE REMOVED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE EXISTING CONDITIONS AS REQUIRED TO ACCOMPLISH THE DESIGN INTENT FOR THE WORK SHOWN AND REASONABLY ANTICIPATED FOR THE PROJECT.

GENERAL CONDITIONS:

- VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING THE WORK.
- QUESTIONABLE ITEMS, INCLUDING BUT NOT LIMITED TO FOUND / UNKNOWN CONDITIONS AND ITEMS NOT SHOWN / LISTED IN THE CONTRACT DOCUMENTS, SHALL BE COORDINATED WITH THE ARCHITECT BEFORE REMOVING.

DEMOLITION PLAN GENERAL NOTES:
IMPORTANT: SITE IS TO REMAIN SECURE AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY SECURITY FENCING AS REQUIRED PER (IND) SPECIFICATION SECTION 1 AND/OR PER DETAILS ON SHEETS TO MAINTAIN SECURITY AS REQUIRED BY LOCAL AGENCY AUTHORITY BETWEEN LAND SIDE AND AIRSIDE WITH EXISTING SECURITY MEASURES ARE REMOVED DURING DEMOLITION. **NOTE:** TEMPORARY SECURITY FENCING PROVIDED SHALL REMAIN THE PROPERTY OF THE OWNER AND REMAIN ON SITE FOLLOWING FINAL COMPLETION.

NOTE: LINES ON THIS SITE PLAN SHOWING LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE DERIVED FROM THE TOPOGRAPHICAL SURVEY AND GEOGRAPHICAL EXPLORATION REPORT PROVIDED IN THE SPECIFICATION DOCUMENTATION. **IMPORTANT:** SUB-SURFACE INVESTIGATION SHOULD BE PERFORMED BY THE CONTRACTOR AND EXTENSIVE CAUTION SHOULD BE EXERCISED DURING DEMOLITION EXCAVATIONS SINCE SEVERAL UTILITIES COULD NOT BE LOCATED DUE TO EXISTING SITE CONDITIONS.

THIS SITE PLAN IS ONLY REPRESENTATIONAL AND DOES NOT SHOW ACTUAL LOCATIONS, BUT REFLECTS APPROXIMATE LOCATIONS OF UTILITY LINES AND CONNECTIONS. THE PURPOSE OF THIS SITE PLAN IS TO ADDRESS UTILITIES THAT ARE REQUIRED TO REMAIN UNTIL ADDITIONAL RELOCATIONS AND INVESTIGATIONS OF UTILITY CONNECTIONS ARE PERFORMED PRIOR TO THE DEMOLITION OF THE ELECTRICAL VAULT BUILDING AND AIR TRAFFIC CONTROL EQUIPMENT BUILDINGS.

PROVIDE SUITABLE SOLES AS REQUIRED TO FILL VOIDS RESULTING FROM DEMOLITION ACTIVITIES. FILL VOIDS TO EXISTING NATURAL SURROUNDING GRADES. PROVIDE FRESH GRASSING OF SITE FOLLOWING DEMOLITION ACTIVITIES, TO SCOPE TO EXISTING DRAINAGE INLETS. SEE SITE AS REQUIRED.

NOTE: SECURITY FENCING IS TO BE INSTALLED PRIOR TO ANY DEMOLITION FROM:

- IN COMPANY WITH THE OWNER, OR ITS REPRESENTATIVE, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
- CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION
- MARK INTERFERENCE SURFACES AS REQUIRED TO ENABLE WORKERS TO ALSO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE IN PLACE.
- VERIFY ITEMS ON OWNER'S MATERIALS AND EQUIPMENT INVENTORY SCHEDULED FOR REMOVAL TO STORAGE FACILITY.

BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPULAR ST
MACON, GA 31201



Passero Associates

PROJECT NO.	20202946.0010
DATE	MARCH 1, 2024
PROJECT NAME	MIDDLE GEORGIA REGIONAL AIRPORT (MCR) BUILDINGS AND SITE DEMOLITION
CLIENT	MACON-BIBB COUNTY
LOCATION	2178 FLIGHTLINE AVE
PROJECT NO.	AD-100
DATE	MARCH 1, 2024

SITE DEMOLITION PLAN
2178 FLIGHTLINE AVE
MIDDLE GEORGIA REGIONAL AIRPORT (MCR) BUILDINGS AND SITE DEMOLITION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GA
PROJECT NO.: 20202946.0010
ISSUE NO.: AD-100
DATE: MARCH 1, 2024

DEMOLITION

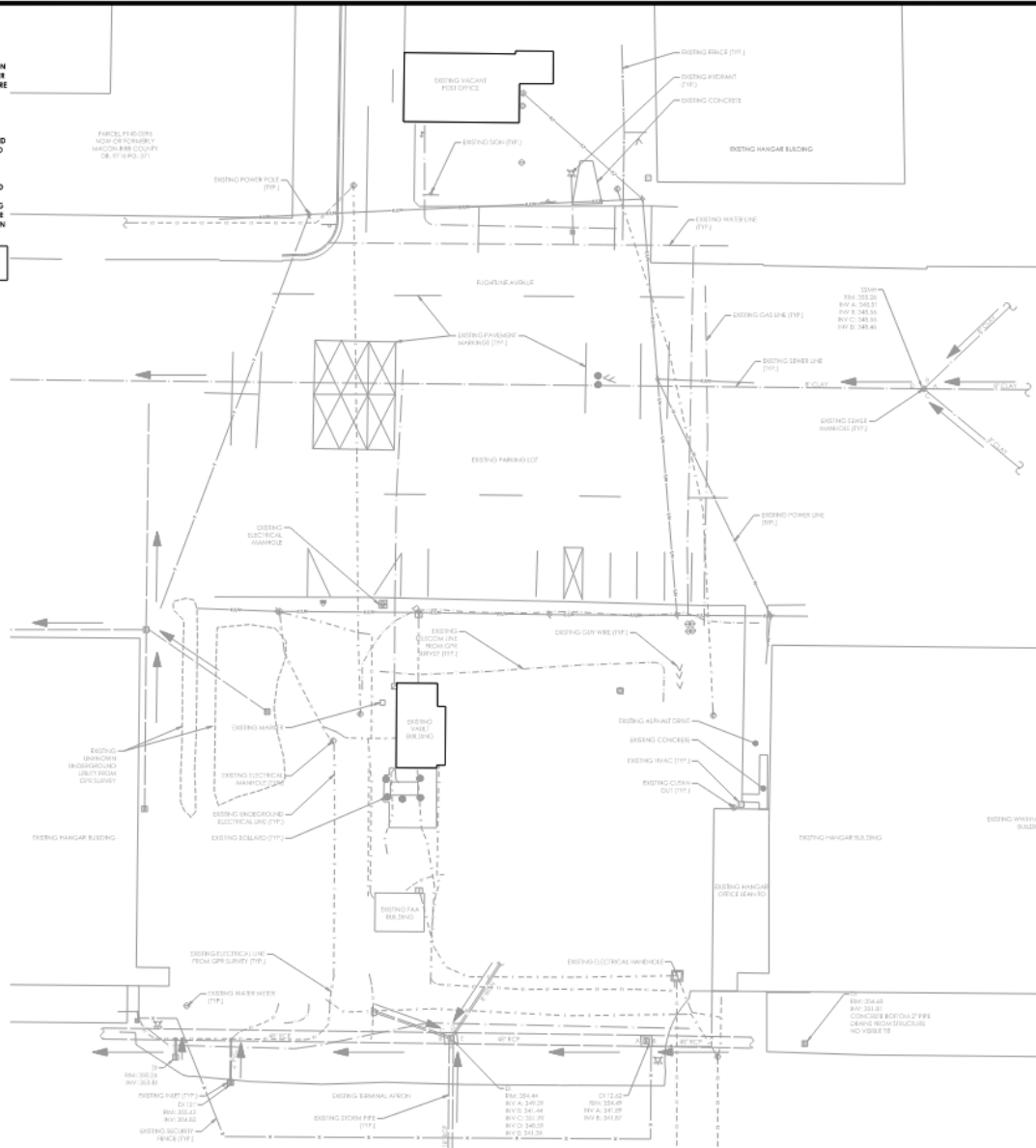
NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

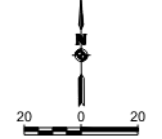
NOTES:

1. A SITE SURVEY WAS PERFORMED BY WELLSTON ASSOCIATES LAND SURVEYORS, LLC IN MARCH 2024. THE VERTICAL DATUM WAS BASED ON NAVD 88.
2. GROUND PENETRATING RADAR (GPR) GEOPHYSICAL EXPLORATION WAS PERFORMED BY TERRACON CONSULTANTS, INC. IN SEPTEMBER 2023 APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES WERE PROVIDED AS A PART OF THE GPR INVESTIGATION.
3. NOTICE TO CONTRACTOR: CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY VERIFYING THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND BASED, IN PART, ON FIELD SURVEY AND INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL CONTACT GEORGIA 811 AND KNOWN UTILITY CONTRACTS TO LOCATE UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE PAID FOR AND REPAIRED BY THE CONTRACTOR.
4. THE EXISTING CONDITIONS SHOWN IN THESE PLANS REFLECT THE SITE CONDITIONS AFTER THE COMPLETION OF THE "BUILDINGS AND SITE DEMOLITION" PROJECT (SEPARATE CONTRACT). THE CONTRACTOR SHALL VERIFY SITE CONDITIONS BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THE AIRPORT DURING THE PERFORMANCE OF THIS CONTRACT.

REFER TO AND FOLLOW HAZARDOUS MATERIALS SURVEY REPORT BY HERRALCON PERFORMED 06/07/2024 PROVIDED WITHIN THE PROJECT DOCUMENTS.



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BID SET - DO NOT USE FOR CONSTRUCTION

CLIENT:
MACON-BIBB COUNTY
601 MULBERRY ST
MACON, GA 31201



Passero Associates

13405 STATE ROUTE 400
SUITE 1000
MACON, GA 31206
TELEPHONE: (478) 385-1111
FAX: (478) 385-1112

NO.	DATE	BY	DESCRIPTION

IN ANY WORK OR SERVICES OR ACTIONS TO THIS DRAWING OR ANY RELATED DOCUMENTS, THE CONTRACTOR SHALL MAINTAIN THE STATUS OF THE PROJECT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

EXISTING CONDITIONS PLAN

2178 FLIGHTLINE AVE

ELECTRICAL VAULT RELOCATION

TOWN/CITY: MACON

COUNTY: BIBB STATE: GEORGIA

PROJECT NO: 20202946.0013

DRAWING NO: C101

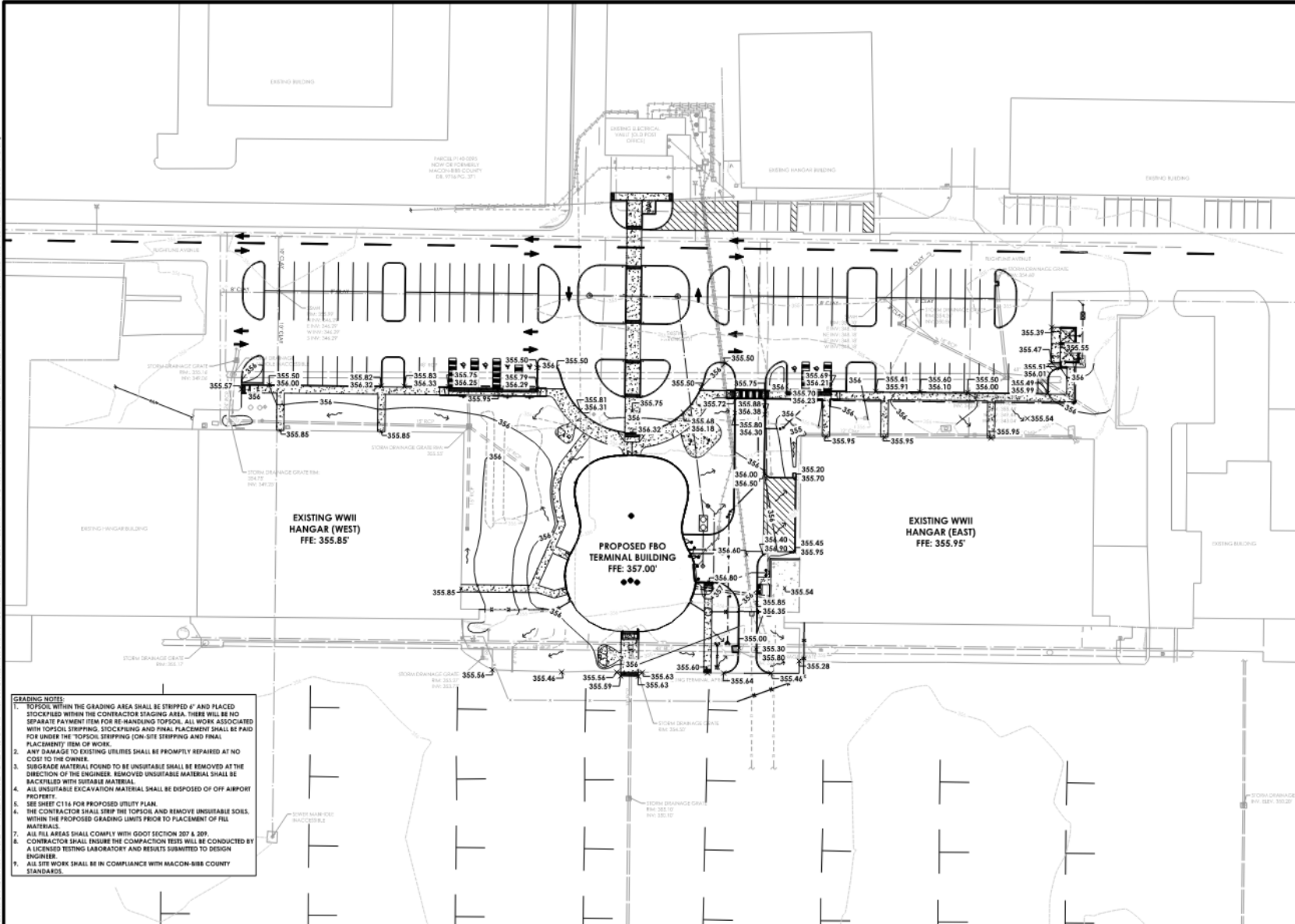
DATE: OCTOBER 2024

ELECTRICAL VAULT RELOCATION

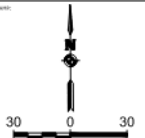
NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

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BID SET - DO NOT USE FOR CONSTRUCTION



CLIENT:
MACON-BIBB COUNTY
601 MULBERRY ST
MACON, GA 31201



Passero Associates

1200 GAZDARIA AVE, SUITE 200
MACON, GA 31206
DANIELA M. CASSELL
PROJECT MANAGER
JESSICA
JARA WILSON, ESQ.

NO.	DATE	BY	DESCRIPTION

ANY INFORMATION OR OPINIONS ON THIS DRAWING IS VALID AS OF THE DATE SHOWN AND SUBJECT TO ANY CHANGES AND REVISIONS. THE USER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED.

GRADING PLAN

**2178 FLIGHTLINE AVE
NEW CORPORATE (FBO)
TERMINAL BUILDING AND
PARKING LOT REHABILITATION**

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO:
20202946.010A

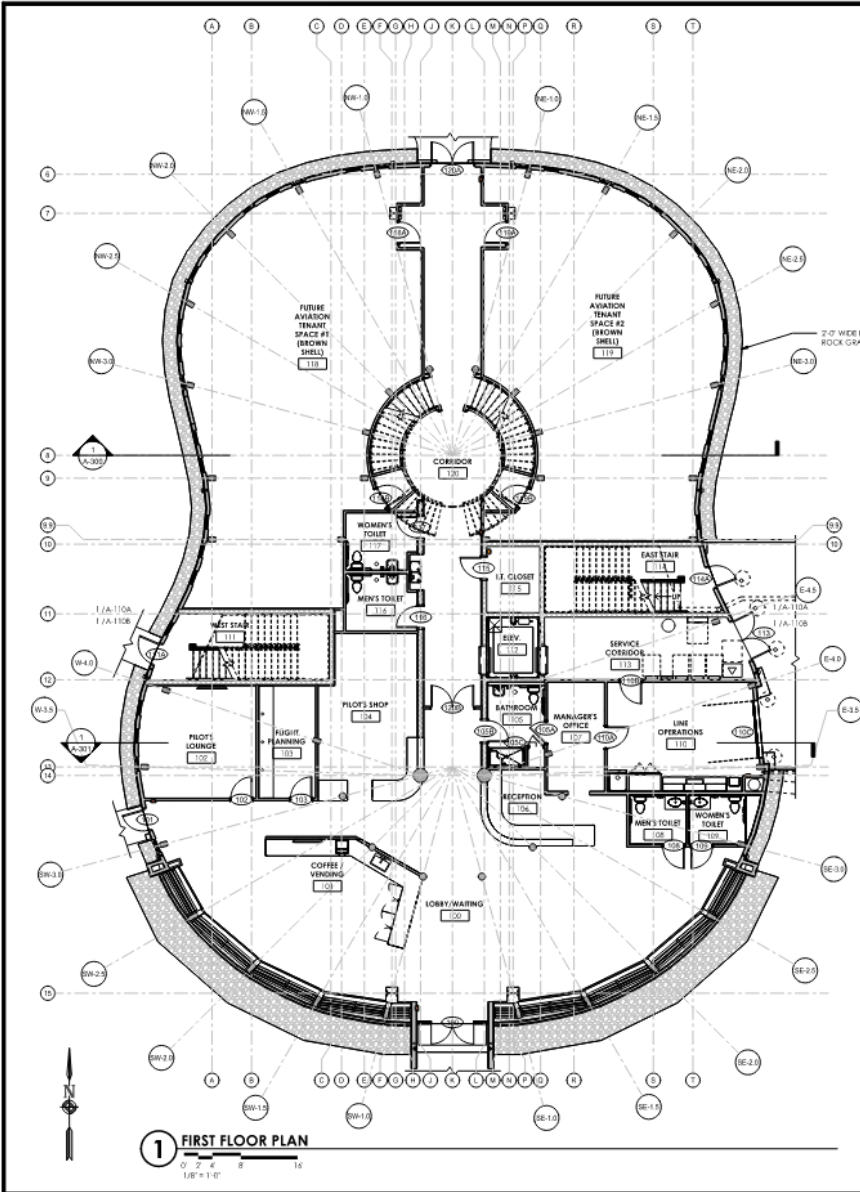
DRAWING NO:
C115

DATE:
OCTOBER 2024

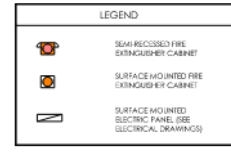
SITE PLAN

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



- FLOOR PLAN GENERAL NOTES:**
- REFER TO SCHEDULE G-005 FOR WALL TYPES.
 - DIMENSION STILES
 - WOOD STUD WALLS ARE DIMENSIONED TO CENTERLINE OF STUD.
 - MASONRY WALLS ARE DIMENSIONED TO FACE OF MASONRY.
 - ALL EXTERIOR WALL ASSEMBLIES TO BE WALL TYPE 11, PER SCHEDULE G-005, UNLESS NOTED OTHERWISE.



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EQUILIBRIUM
PROMUS

BID SET

STATE:

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

4576 GLEN COLE AVE., SUITE 200 (888) 751-1485
200 W. HUNTER ST., SUITE 100 (706) 850-1100
MACON, GA 31201 (706) 850-1100
FAX: (706) 850-1101

NO.	DATE	BY	DESCRIPTION

FIRST FLOOR PLAN

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA
PROJECT NO:

20202946.010A

ISSUED BY: **A-110**

DATE: **NOVEMBER 4, 2024**

FIRST FLOOR PLAN

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

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EQUILIBRIUM
PROMUS

FLOOR PLAN GENERAL NOTES:

- REFER TO SHEET G-003 FOR WALL TYPES
- DIMENSION STYLES
- WOOD STUD WALLS ARE DIMENSIONED TO CENTERLINE OF STUD
- MASONRY WALLS ARE DIMENSIONED TO FACE OF MASONRY
- ALL EXTERIOR WALL ASSEMBLIES TO BE WALL TYPE E1, PER SHEET G-003, UNLESS NOTED OTHERWISE.

LEGEND

- SEMI-RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED ELECTRIC PANEL (SEE ELECTRICAL DRAWINGS)

BID SET

DATE:

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

1578 GLEN ADAWAY BLVD, SUITE 200 | MACON, GA 31204
PH: 478.876.1100 | FAX: 478.876.1101

PROJECT MANAGER: JAMES W. PASSERO | ARCHITECT: JAMES W. PASSERO
DATE: 11/04/2024 | DRAWING NO.: A-120

NO. DATE BY DESCRIPTION

NO.	DATE	BY	DESCRIPTION

SECOND FLOOR PLAN

2178 FLIGHTLINE AVE
CORPORATE FBI TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON

COUNTY: BIBB STATE: GEORGIA

PROJECT NO.:

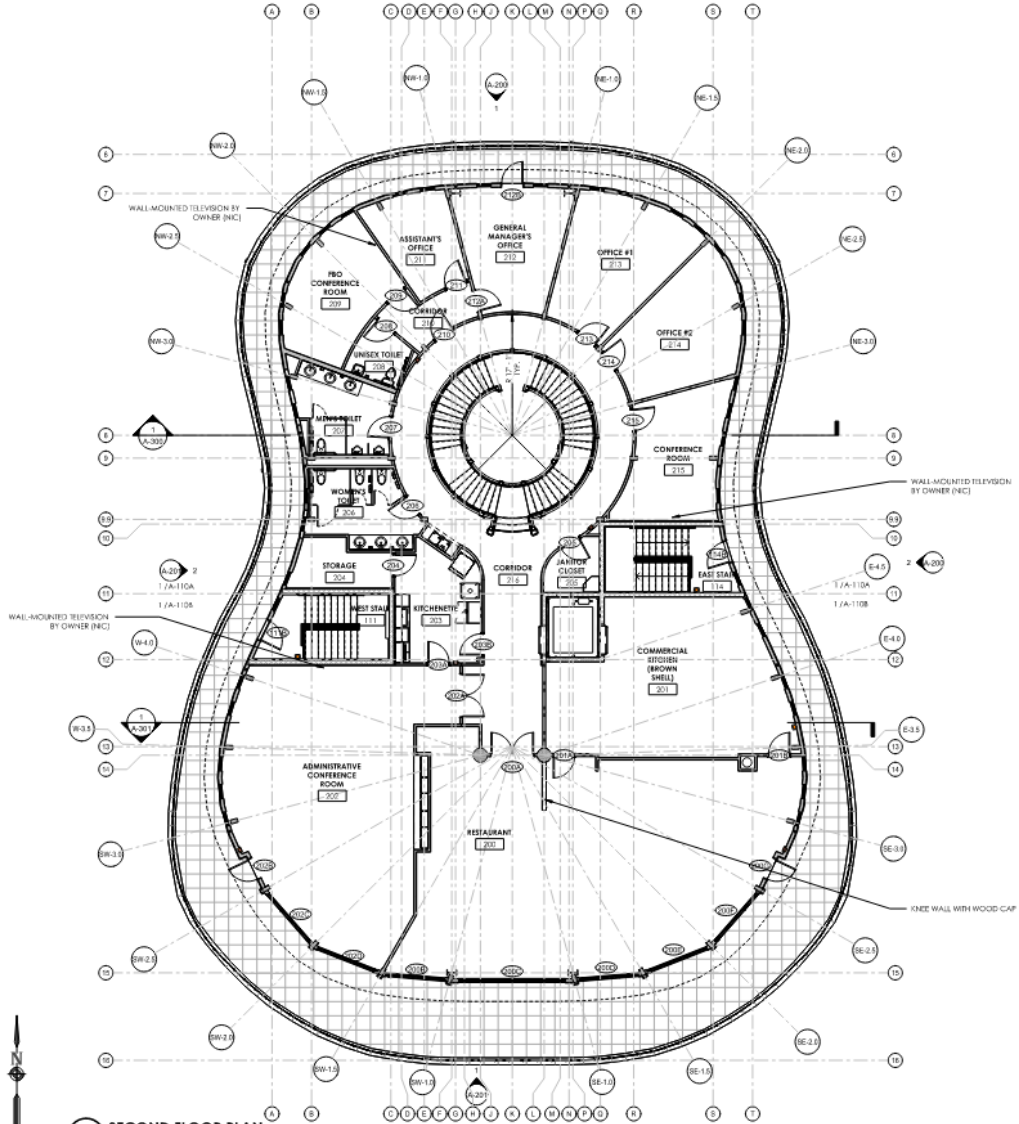
20202946.010A

DRAWING NO.:

A-120

DATE:

NOVEMBER 4, 2024



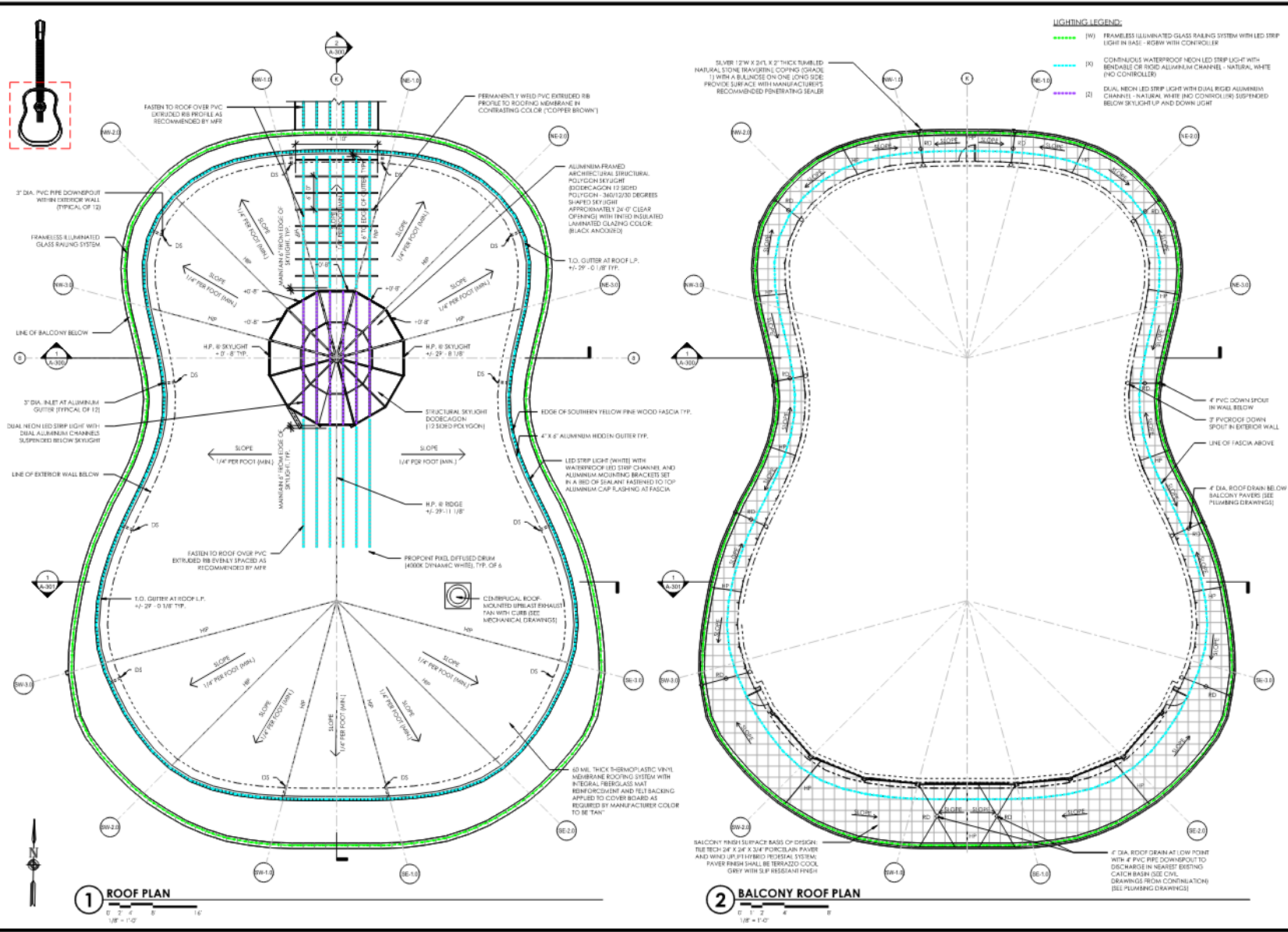
1 SECOND FLOOR PLAN

1/8" = 1'-0"

SECOND FLOOR PLAN

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



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EQUILIBRIUM
PROMUS

BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201

Passero Associates
4575 LISA AVE, SUITE 200
DUBLIN, GA 31028
PROJECT MANAGER: MICHAEL W. HAYES
OWNER: MACON-BIBB COUNTY
DATE: 10/20/2023

NO.	DATE	BY	DESCRIPTION

ROOF PLAN AND BALCONY ROOF PLAN

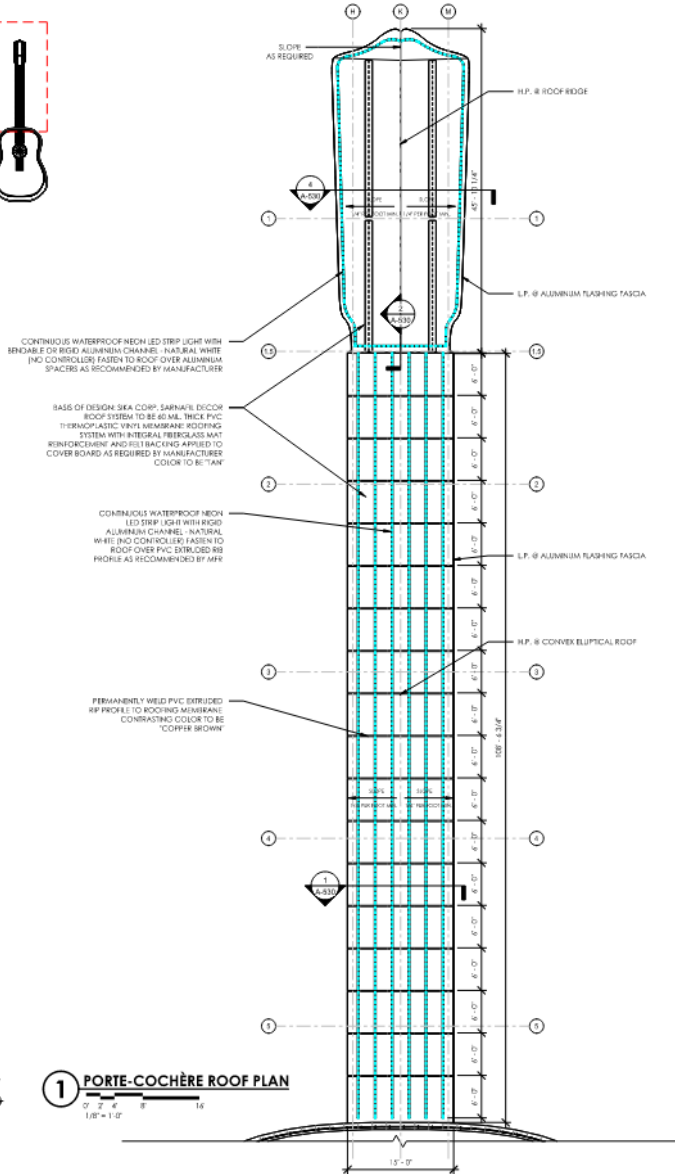
2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA
PROJECT NO.: 20202946.010A
REVISED: A-150
DATE: NOVEMBER 4, 2024

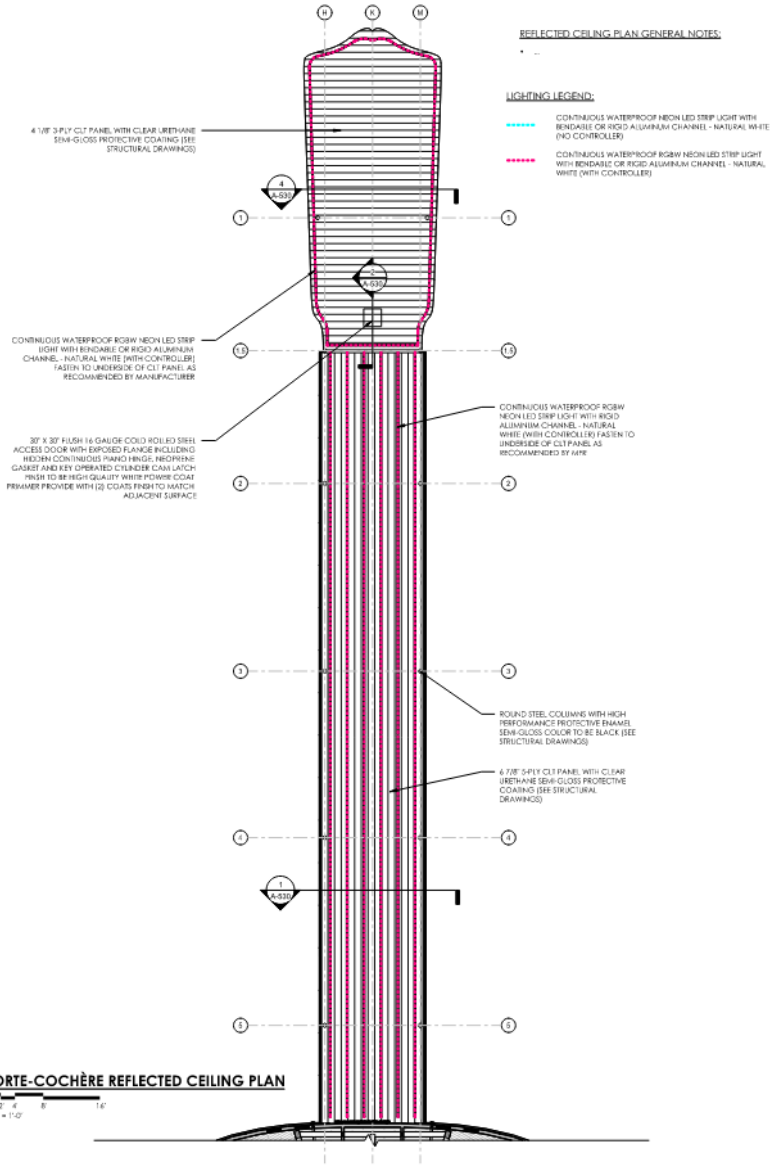
ROOF & BALCONY PLANS

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



1 PORTE-COCHÈRE ROOF PLAN



2 PORTE-COCHÈRE REFLECTED CEILING PLAN

REFLECTED CEILING PLAN GENERAL NOTES:

LIGHTING LEGEND:

- CONTINUOUS WATERPROOF NEON LED STRIP LIGHT WITH BENDABLE OR RIGID ALUMINUM CHANNEL - NATURAL WHITE (NO CONTROLLER)
- CONTINUOUS WATERPROOF RGBW NEON LED STRIP LIGHT WITH BENDABLE OR RIGID ALUMINUM CHANNEL - NATURAL WHITE (WITH CONTROLLER)



BID SET

TITLE:

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

4511 GREENGLADE AVENUE, SUITE 200 | MACON, GA 31206
 PROJECT MANAGER: JASON HAYES | PROJECT ARCHITECT: JASON HAYES
 PROJECT ENGINEER: JASON HAYES | PROJECT ENGINEER: JASON HAYES

NO.	DATE	BY	DESCRIPTION

ALL DIMENSIONS AND SPACING UNLESS OTHERWISE NOTED IN AN ADJUSTED OR CORRECTED DRAWING SHALL BE AS SHOWN ON THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SPACING BEFORE CONSTRUCTION.

PORTE-COCHÈRE ROOF/REFLECTED CEILING PLAN

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO.: 20202946.010A

ISSUE NO.: A-160

DATE: NOVEMBER 4, 2024

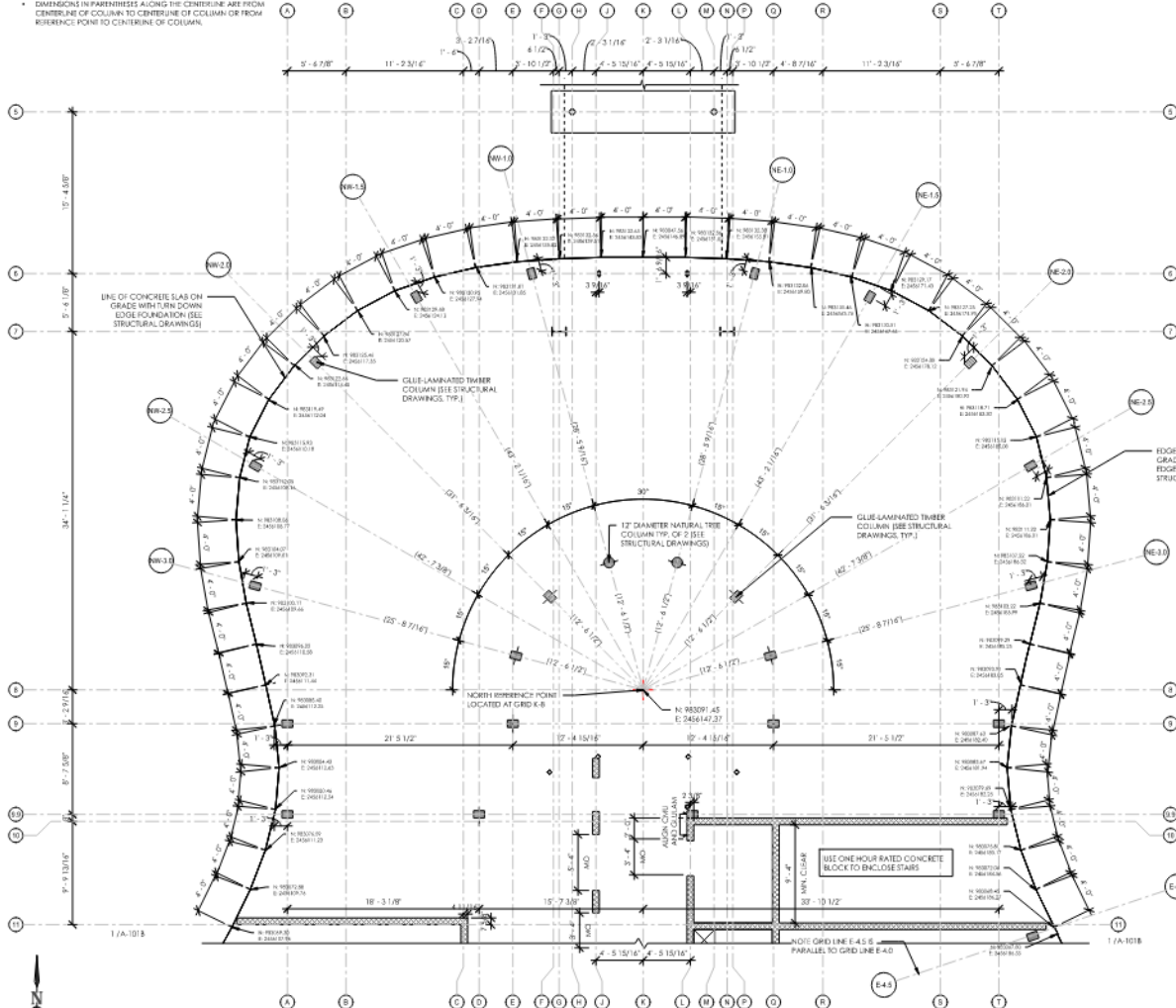
PORTE-COCHERE PLAN

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

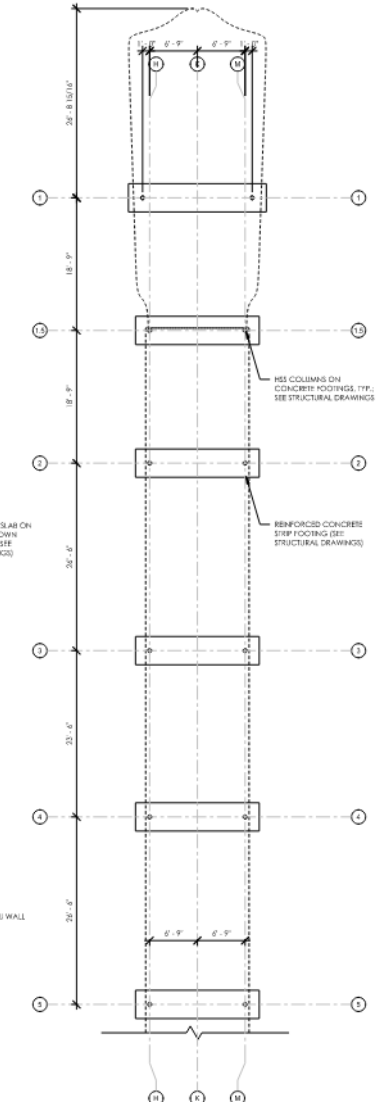
PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND ANGLES AT 15° OR 30° ARE TO BE MEASURED FROM REFERENCE POINTS AS SPECIFIED TYP.
- DIMENSIONS IN PARENTHESES ALONG THE CENTERLINE ARE FROM CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



1 FIRST FLOOR ENLARGED GRID PLAN - NORTH



2 FIRST FLOOR PORTE-COCHÈRE GRID PLAN



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

ARCHITECT
20202946.010A

NO.	DATE	BY	DESCRIPTION

FIRST FLOOR ENLARGED GRID PLAN - NORTH

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

20202946.010A

A-101A

NOVEMBER 4, 2024

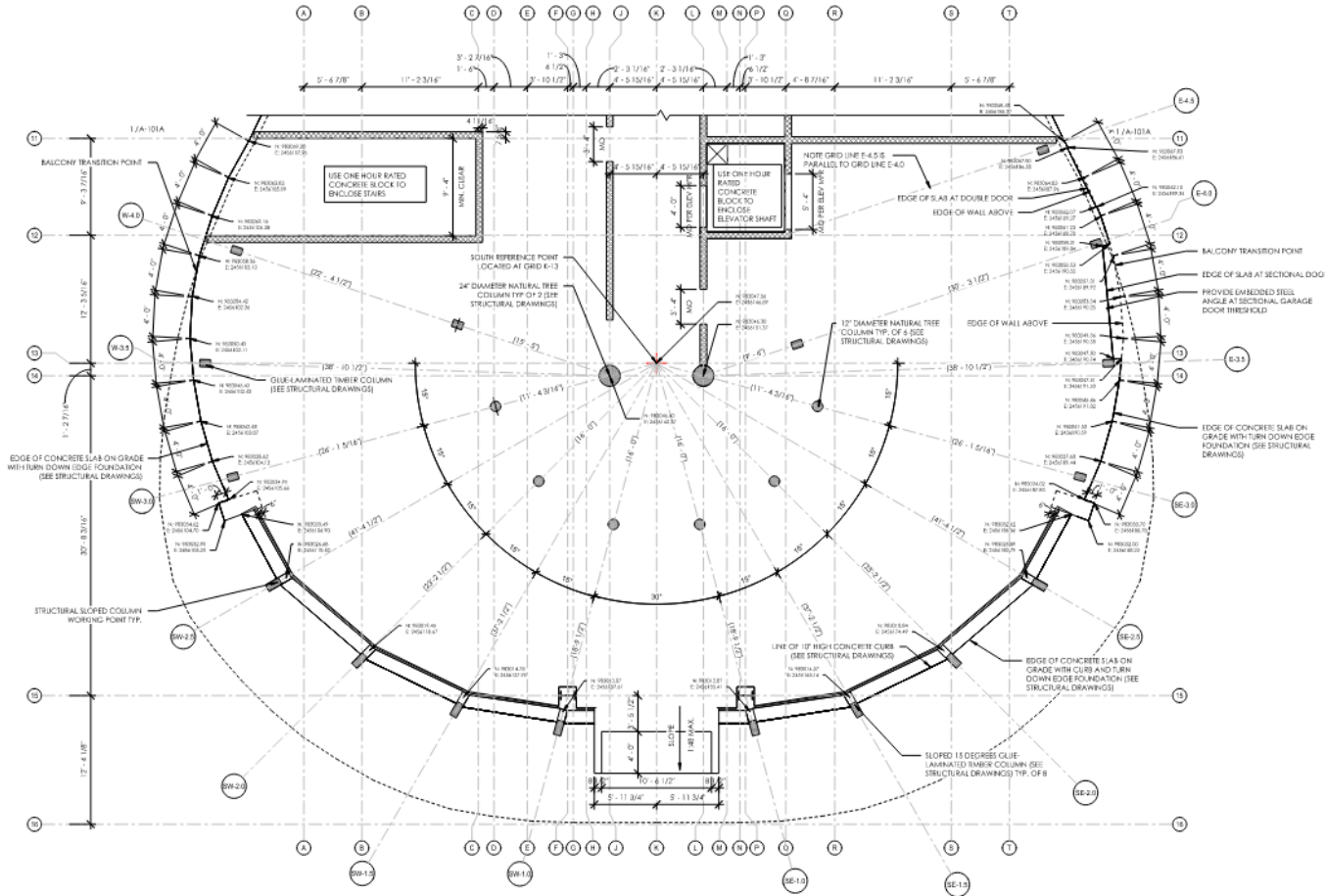
FIRST FLOOR GRID PLAN - NORTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND RADIAL ANGLES AT 1/8" OR 3/8" ARE TO BE MEASURED FROM REFERENCE POINTS AS DEPICTED. TYP.
- DIMENSIONS IN PARENTHESES INDICATE THE CENTERLINE ARE FROM CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



1 FIRST FLOOR ENLARGED GRID PLAN - SOUTH

0' 2' 4' 8' 16'
3/16" = 1'-0"



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

2200 W. BROADWAY, SUITE 100
MACON, GA 31204
TEL: 478-872-1234
FAX: 478-872-1235

NO.	DATE	BY	DESCRIPTION

FIRST FLOOR ENLARGED GRID PLAN - SOUTH

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO:
20202946.010A

ISSUE NO:
A-101B

DATE:
NOVEMBER 4, 2024

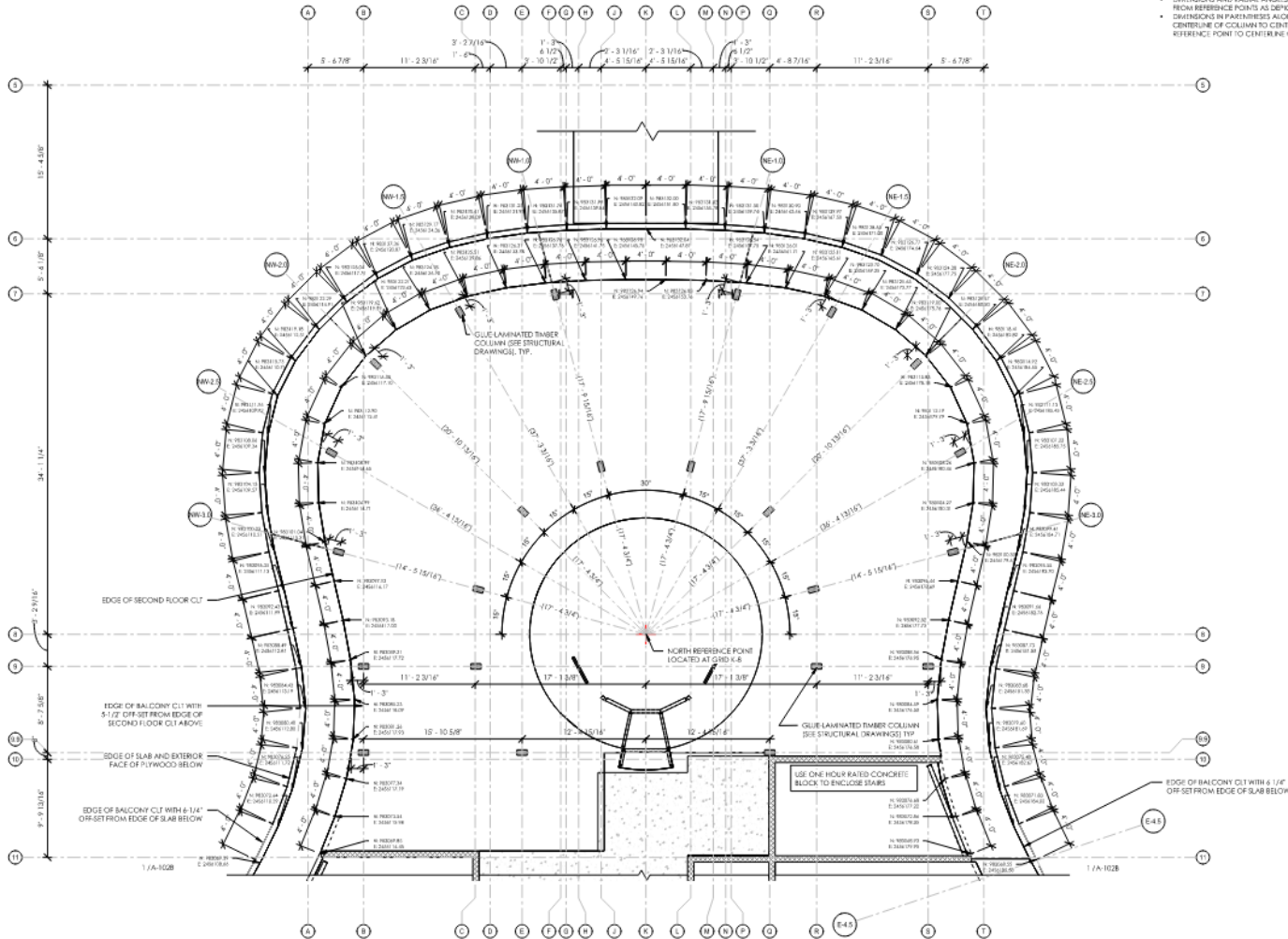
FIRST FLOOR GRID PLAN - SOUTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND RADIAL ANGLES AT 1° OR 30° ARE TO BE MEASURED FROM REFERENCE POINTS AS DEPICTED TYP.
- DIMENSIONS IN PARENTHESES INDICATE THE CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

1700 GARDNER DRIVE, SUITE 200
MACON, GEORGIA 31204
TEL: 478-871-1111 FAX: 478-871-1112
WWW.PASSEROASSOCIATES.COM

NO.	DATE	BY	DESCRIPTION

SECOND FLOOR ENLARGED GRID PLAN - NORTH

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO:
20202946.010A

DRAWING NO:
A-102A

DATE:
NOVEMBER 4, 2024

1 SECOND FLOOR ENLARGED GRID PLAN - NORTH



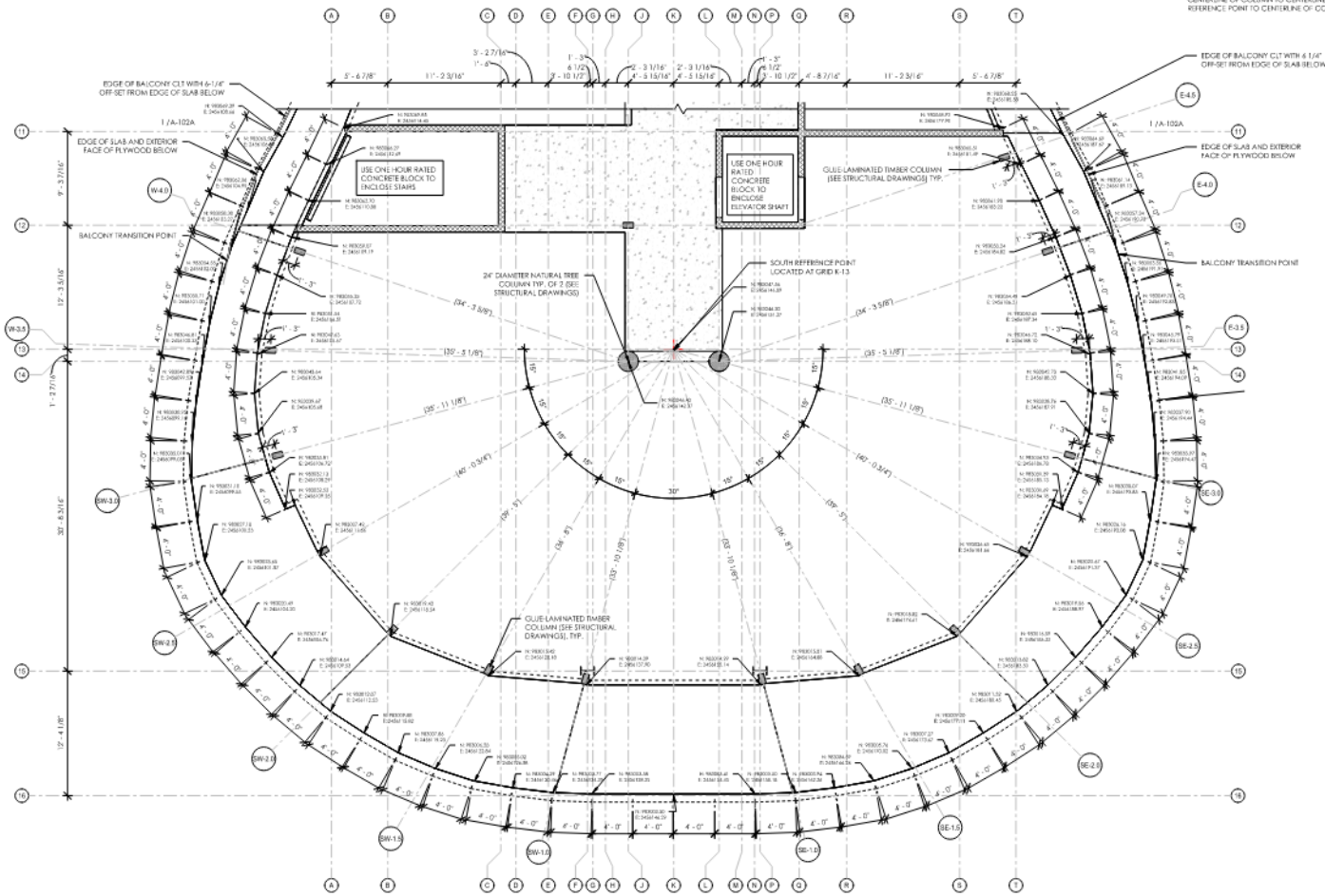
SECOND FLOOR GRID PLAN - NORTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

GRID PLAN GENERAL NOTES:

- REFER TO STRUCTURAL DRAWINGS.
- DIMENSIONS AND RADIAL ANGLES AT 12" OR 30" ARE TO BE MEASURED FROM REFERENCE POINTS AS SPECIFIED TYP.
- DIMENSIONS IN PARENTHESES ALONG THE CENTRINE ARE FROM CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN OR FROM REFERENCE POINT TO CENTERLINE OF COLUMN.



1 SECOND FLOOR ENLARGED GRID PLAN - SOUTH

0' 3/16" = 1'-0"



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

4575 GARDENWAY, SUITE 200 8001 PINE HARBOR
DUBLIN, GEORGIA 31006 404.261.1800

NO.	DATE	BY	DESCRIPTION

SECOND FLOOR ENLARGED GRID PLAN - SOUTH

2178 FLIGHTLINE AVE
CORPORATE FBI TERMINAL BUILDING AND PARKING LOT REHABILITATION

TOWN/CITY: MACON
COUNTY: BIBB STATE: GEORGIA

PROJECT NO.: 20202946.010A

DRAWING NO.: A-102B

DATE: NOVEMBER 4, 2024

SECOND FLOOR GRID PLAN - SOUTH

NOT ALL COMPONENTS RELATED TO BIDPACKAGE ARE SHOWN

PROJECT COMPONENTS – BID PACKAGE OVERVIEW

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EQUILIBRIUM
PROMUS

BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

1378 COLUMBIA AVE, SUITE 200
MACON, GA 31201, U.S.A. (800) 767-1488

PROJECT MANAGER: QUINCY W. WOOD

PROJECT ARCHITECT: JAMES W. WOOD

DATE: 11/04/2024

DESCRIPTION:

NO.	DATE	BY	DESCRIPTION

ALL MATERIALS AND WORKMANSHIP TO BE INCLUDED IN BID PRICE UNLESS OTHERWISE SPECIFIED. OWNER AND ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

BALCONY DETAILS

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL
BUILDING AND PARKING LOT
REHABILITATION

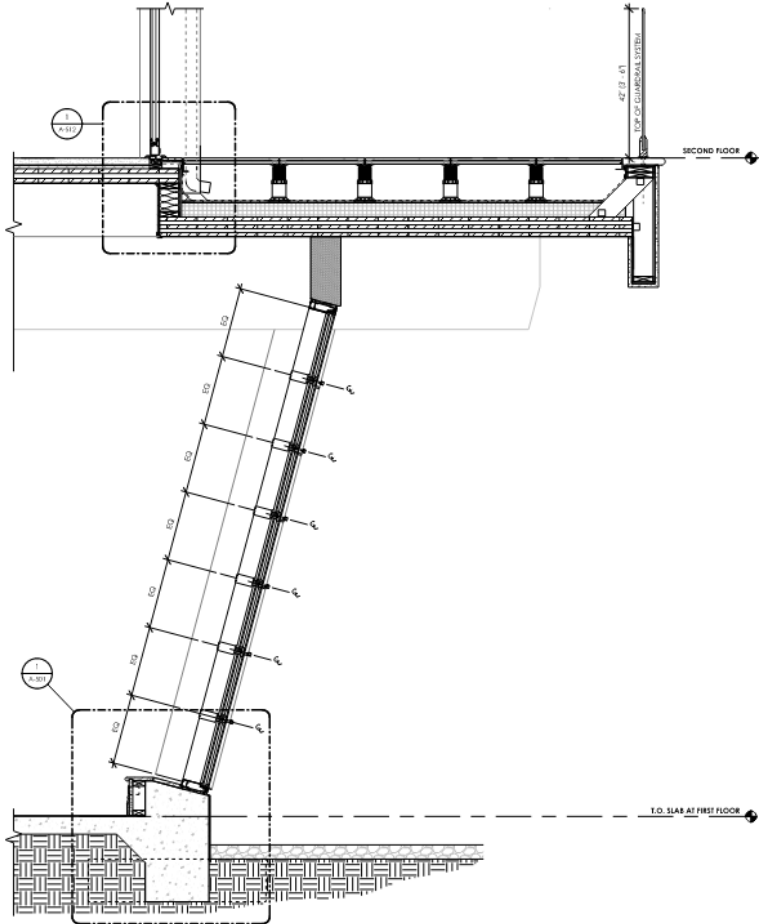
TOWN/CITY: MACON

COUNTY: BIBB STATE: GEORGIA

PROJECT NO: 20202946.010A

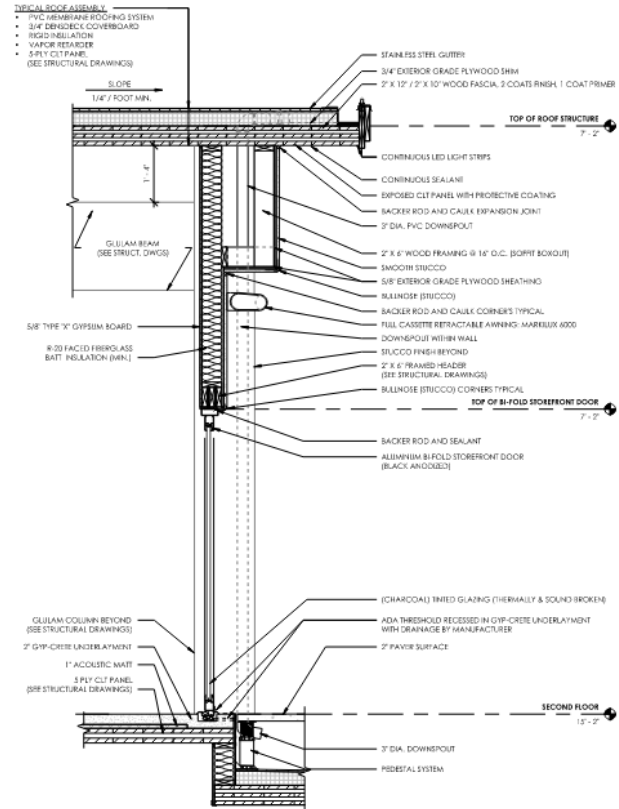
DRAWING NO: A-511

DATE: NOVEMBER 4, 2024



1 TYP. BALCONY DETAIL @ FBO WAITING AREA

3/4" = 1'-0"



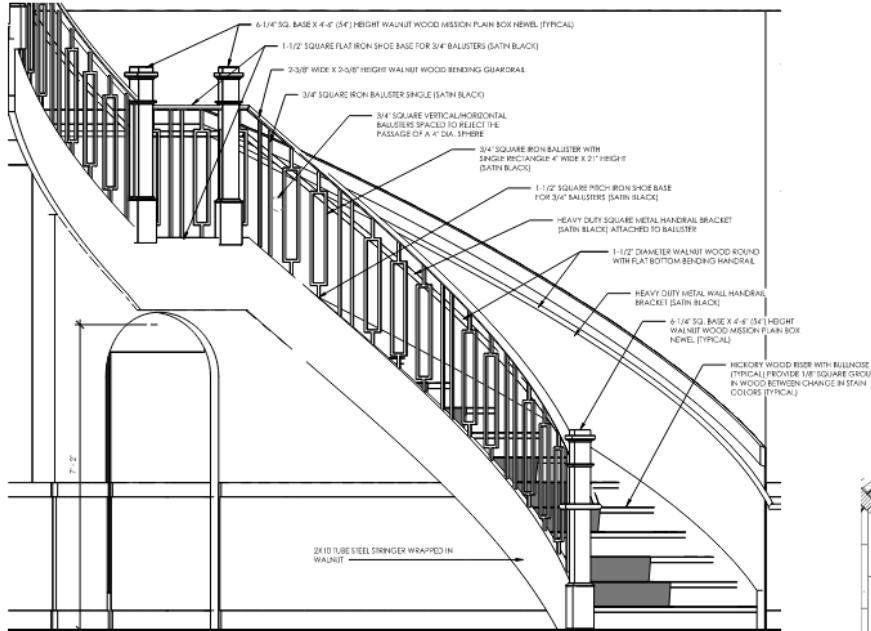
2 SECTION THROUGH BI-FOLD STOREFRONT

3/4" = 1'-0"

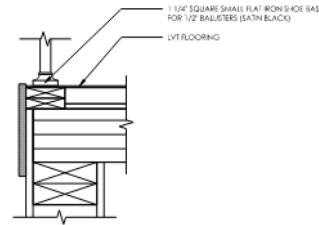
15-DEGREE CURTAIN WALL

NOT ALL COMPONENTS RELATED
TO BIDPACKAGE ARE SHOWN

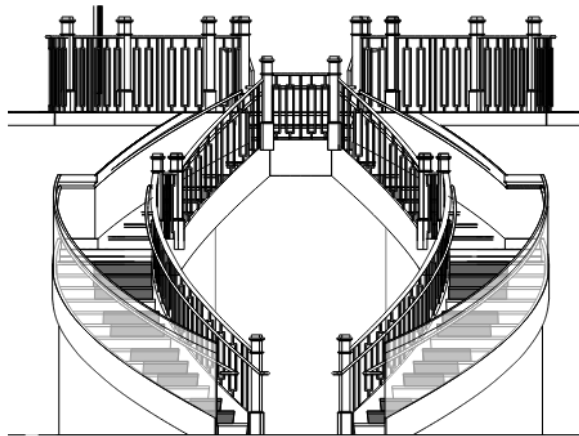
PROJECT COMPONENTS – BID PACKAGE OVERVIEW



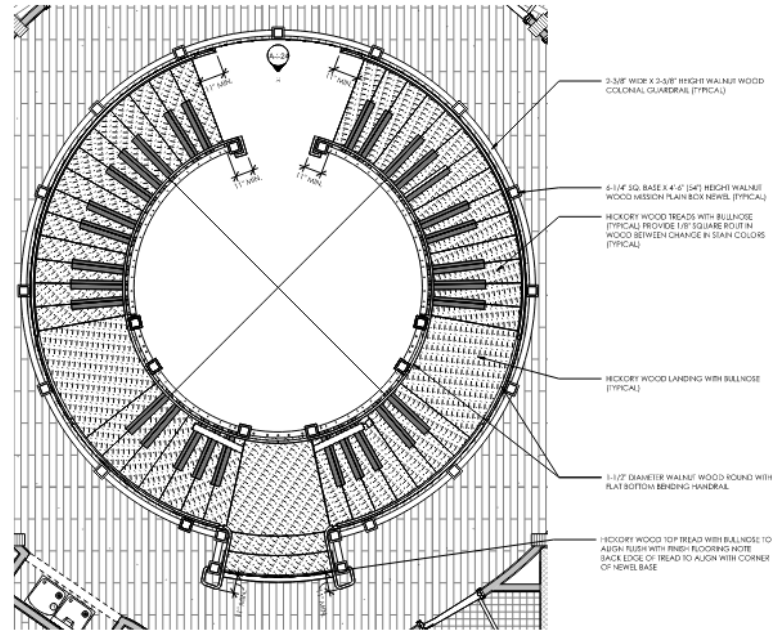
1 ROTUNDA STAIR HALF ELEVATION



4 TYP. ROTUNDA STAIR DETAIL



3 ROTUNDA STAIR FULL ELEVATION



2 ROTUNDA STAIR PLAN

STAIR GENERAL NOTES:

- THE TREAD AND LANDING SLOPE SHALL NOT EXCEED 1/4 IN/FT PER NFPA 101 7.2.2.3.4.
- VARIATION IN EXCESS OF 3/16 IN. IN THE SIZES OF ADJACENT TREAD DIPPING OR IN THE THICKNESS OF ADJACENT RISERS SHALL BE PROHIBITED, UNLESS OTHERWISE PERMITTED IN 7.2.2.3.4.3, PER NFPA 101 7.2.2.3.4.1.
- THE VARIATION BETWEEN THE SETS OF THE LARGEST AND SMALL RISES OR BETWEEN THE LARGEST AND SMALLEST TREAD DIPPING SHALL NOT EXCEED 3/8 IN. IN ANY DIRECTION PER NFPA 101 7.2.2.3.4.2.
- BASE OF DESIGN FOR MONUMENTAL STAIR COMPONENTS: WWW.STAIRWAREHOUSE.COM
- HICKORY WOOD TREADS AND RISERS TO BE STAINED COLORS TO MATCH LVT COLOR BY SECTION PROVIDER WITH CLEAR OIL BASED POLYURETHANE VARNISH NON-SLIP COATING. (TYPICAL)



BID SET

CLIENT:
MACON-BIBB COUNTY
700 POPLAR ST.
MACON, GA 31201



Passero Associates

4714 LISA GLEN DRIVE, SUITE 200 (889) 751-1485
25 WOODBINE PL. SUITE 100 (919) 487-1100

PROJECT MANAGER: MICHAEL WILSON NET COUNSELOR: MICHAEL WILSON NET
DESIGNER: MICHAEL WILSON NET ARCHITECT: MICHAEL WILSON NET

NO. DATE BY DESCRIPTION

NO.	DATE	BY	DESCRIPTION

ROTUNDA MONUMENTAL STAIR ENLARGED PLANS AND ELEVATIONS

2178 FLIGHTLINE AVE
CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION

TOWN/CITY: MACON

COUNTY: BIBB STATE: GEORGIA

PROJECT NO.: 20202946.010A

DRAWING NO.: A-324

DATE: NOVEMBER 4, 2024

PROJECT COMPONENTS – BID PACKAGE OVERVIEW



ROTUNDA MONUMENTAL STAIR RENDERING

NOT ALL COMPONENTS RELATED
TO BIDPACKAGE ARE SHOWN

UTILITY OUTAGES AND SHUTDOWN

- MUST STAY SECURED AT ALL TIMES AND BEWARE OF FOD DUE TO PROXIMITY TO AIRFIELD
- DO NOT DISRUPT OR SHUT DOWN LIFE SAFETY SYSTEMS, INCLUDING BUT NOT LIMITED TO POWER, DATA, WATER, SEWER AND FIRE ALARM SYSTEM, WITHOUT NOTICE TO OWNER AND AUTHORITIES HAVING JURISDICTION
- LIMIT SHUTDOWN OF UTILITIES TO 4 HOURS AT A TIME, ARRANGED AT LEAST 48 HOURS IN ADVANCE WITH THE OWNER

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PROJECT SCHEDULE

Invitation to Bid Advertisement Plans Available	<u>Non-Mandatory Pre-Bid Meeting</u>	Addendum No. 1 Issued	Deadline for Submission of Questions	Final Addendum Issued	Deadline for Submission of Bids
Monday, November 4, 2024	Tuesday, November 12, 2024 (1:00 pm)	Tuesday, November 19, 2024	Tuesday, November 26, 2024 (5:00 pm)	Thursday, December 5, 2024	Thursday, December 12, 2024 (12:00 pm)

ADDENDA

- ALL ADDENDA WILL BE POSTED TO MACON-BIBB COUNTY'S WEBSITE AT www.maconbibb.us/procurement, AT GEORGIA'S DEPARTMENT OF ADMINISTRATIVE SERVICES AT <https://doas.ga.gov/state-purchasing/georgia-procurement-registry-local-governments/gpr-overview> AND AT www.passero.com/bids IT IS THE BIDDERS RESPONSIBILITY TO CHECK THE CITY'S WEBSITE FOR ADDENDA PRIOR TO SUBMITTING THEIR BID.

BID PROPOSALS

- ALL BIDDERS ARE REQUIRED TO COMPLETE & RETURN A COPY OF THE BID SECTION OF THE CONTRACT DOCUMENTS TO MACON-BIBB COUNTY PROCUREMENT DEPARTMENT LOCATED AT **700 POPLAR STREET, 3RD FLOOR, SUITE 308, MACON, GA 31201, UNTIL 12PM ON THURSDAY, DECEMBER 12, 2024** THEN PUBLICLY OPENED AND READ ALOUD AT 2PM ON DECEMBER 12, 2024.

CONTRACT AWARD

- THE OWNER INTENDS TO AWARD THE CONTRACT TO THE LOWEST BIDDER, BUT RESERVES THE RIGHT TO AWARD IN ANY MANNER DEEMED IN HIS SOLE DISCRETION TO BE IN THE OWNER'S BEST INTEREST
- THE OWNER RESERVES THE RIGHT TO WITHHOLD THE AWARD OF THE CONTRACT FOR A PERIOD NOT TO EXCEED **90 CALENDAR DAYS** FROM BID OPENING.

CONTRACT TIME

- **420 CALENDAR DAYS** FROM NOTICE TO PROCEED WITH LIQUID DAMAGES OF **\$1,000 PER CALENDAR DAY** FOR EACH CALENDAR DAY IN EXCESS OF THE CONTRACT TIME.

PROJECT SCHEDULE

- CONTRACTOR SHALL BEGIN NO LATER THAN TEN CALENDAR DAYS FROM ISSUANCE OF NOTICE TO PROCEED; ALL WORK MUST BE COMPLETED **WITHIN 420 CALENDAR DAYS OF NOTICE TO PROCEED.**
- THE ORIGINAL BID SUBMITTAL [**1 ORIGINAL, 1 HARD COPY, AND 1 ELECTRONIC COPY (USB)**] MUST BE DELIVERED TO MACON-BIBB COUNTY PROCUREMENT DEPARTMENT GOVERNMENT CENTER AT

MACON-BIBB COUNTY PROCUREMENT DEPARTMENT GOVERNMENT CENTER
700 POPLAR STREET, 3RD FLOOR, SUITE 308
MACON, GEORGIA 31201

IN A SEALED PACKAGE. INDICATE THE FOLLOWING INFORMATION ON THE OUTSIDE OF THE SEALED ENVELOPE CONTAINING THE BID:

- PROJECT NAME AS STATED ON PAGE ONE OF THE BID FORMS
 - PROJECT NUMBER
 - LOCATION OF AIRPORT
 - BIDDER'S NAME AND ADDRESS
- IF THE BID IS SENT THROUGH THE MAIL OR OTHER DELIVERY SYSTEM, THE SEALED ENVELOPE SHALL BE ENCLOSED IN A SEPARATE ENVELOPE WITH THE NOTATION "BID ENCLOSED FOR (PROJECT NAME)" ON THE FACE THEREOF.

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MISCELLANEOUS CONTRACT REQUIREMENTS

CONTRACTOR PROJECT SCHEDULING & PROGRESS MEETINGS: THE CONTRACTOR SHALL SUBMIT A CRITICAL PATH METHOD (CPM) SCHEDULE FOR ALL WORK ACTIVITIES, PRIOR TO COMMENCING WORK, AND PROVIDE UPDATES A MINIMUM OF TWICE PER MONTH. ON SITE WEEKLY PROGRESS MEETINGS SHALL BE REQUIRED FOR THE DURATION OF THE PROJECT; THE FREQUENCY MAY BE REDUCED IF APPROVED BY THE ENGINEER/ARCHITECT.

BIDDER QUALIFICATIONS (REQUIREMENT)

- ALL EXHIBITS, SHALL BE INCLUDED WITH THE BIDDER'S PROPOSAL FOR THIS PROJECT.
- BIDDERS MUST SUBMIT WITH THE BID SUBMITTAL EVIDENCE OF CAPABILITIES TO COMPLETE THE CORPORATE FBO TERMINAL BUILDING AND PARKING LOT REHABILITATION. THIS WILL INCLUDE A REFERENCE LIST OF SIMILAR PROJECTS (SCOPE & SIZE) SUCCESSFULLY COMPLETED IN THE PAST, A REFERENCE LIST, AND EQUIPMENT LIST, A LIST OF SUBCONTRACTORS, AND OTHER INFORMATION REQUESTED BY MACON-BIBB COUNTY. FAILURE TO SUBMIT QUALIFICATION INFORMATION WITH THE BID SUBMITTAL MAY RESULT IN REJECTION OF A BID.

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MISCELLANEOUS CONTRACT REQUIREMENTS

BUILDING PERMITTING & IMPACT/CONCURRENCY FEES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL REQUIRED BUILDING & CONSTRUCTION PERMITTING APPLICATIONS WITH THE CITY.
- THE CONTRACTOR, WILL BE FINANCIALLY RESPONSIBLE FOR THE COST OF ALL REQUIRED PERMITS AND IMPACT/CONCURRENCY FEES WITH THE CITY.
- CONTRACTOR MUST OBTAIN A TRAILER FOR A FIELD OFFICE IF REQUIRED.

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QUESTIONS, CLARIFICATIONS & INTERPRETATIONS

A BIDDER REQUIRING A CLARIFICATION OR INTERPRETATION OF THE PROJECT DOCUMENTS SHALL MAKE A WRITTEN REQUEST TO THE PROJECT MANAGER BY EMAIL AT THE FOLLOWING APPLICABLE ADDRESS:

EMAIL ADDRESS: CNARDONE@PASSERO.COM

PHONE INQUIRIES CAN BE DIRECTED TO CHRISTOPHER NARDONE AT
904-624-4211

DEADLINE FOR SUBMISSION OF QUESTIONS IS **TUESDAY, NOVEMBER 26, 2024, AT 5:00 PM**

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QUESTIONS, CLARIFICATIONS & INTERPRETATIONS

ALL WRITTEN REQUESTS RECEIVED BY THE ABOVE LISTED DATE SHALL BE RESPONDED TO, & THE REPOSE SHALL BECOME PART OF THE CONTRACT DOCUMENTS.

PLEASE NOTE THAT ANY VERBAL RESPONSE TO QUESTIONS BY THE ARCHITECT/ENGINEER IS CONSIDERED UNOFFICIAL AND WILL NOT BECOME PART OF THE CONTRACT DOCUMENTS; THEREFORE, PLEASE SUBMIT ALL CONTRACT QUESTIONS IN WRITING REGARDLESS OF ANY VERBAL COMMUNICATION.

WRITTEN QUESTIONS/COMMENTS RECEIVED DURING THIS MEETING SHALL BE RECORDED AND OFFICIAL RESPONSES SHALL BE INCLUDED IN ADDENDUM NO. 1.

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QUESTIONS, CLARIFICATIONS & INTERPRETATIONS

DURING THE BIDDERS' REVIEW OF THE CONTRACT DOCUMENTS, ANY PROBLEMS RELATED TO THE FOLLOWING QUESTIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

- **DID YOU DISCOVER ANY DISCREPANCIES BETWEEN THE PLANS & SPECIFICATIONS?**
- **ARE ALL ITEMS OF WORK AND REQUIRED TASKS TO COMPLETE THE JOB DESCRIBED ADEQUATELY IN THE CONTRACT DOCUMENTS?**
- **ARE THERE ANY ITEM(S) REQUIRED TO COMPLETE THE JOB THAT WAS NOT IDENTIFIED IN THE BID FORMS?**

PLEASE SUBMIT ANY SUCH ITEMS IN WRITING AS PREVIOUSLY DESCRIBED.

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CONTRACTOR QUESTIONS

QUESTIONS TO BE GIVEN TO CHRISTOPHER NARDONE FOLLOWING THE MEETING.
ALL QUESTIONS WILL BE ANSWERED IN AN ADENDUM.

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QUESTIONS & COMMENTS



SITE VISIT IMMEDIATELY FOLLOWING QUESTIONS/COMMENTS

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